

The Reeve and Members of Council  
Front of Leeds and Lansdowne  
Lansdowne, Ontario

*NOTE*  
*THIS THE REPORT*  
*TOTALS USED*  
*By-law 13-23*

*REVISED*

Gentlemen:

Report of the Proposed  
Smith-Bolger Municipal Drainage Works

In accordance with the resolution of Council dated August 1, 1972, we are pleased to submit our report under Section 3 of The Drainage Act, 1972 as amended, on the proposed Smith-Bolger Municipal Drainage Works, in lots 8 to 17, Concession 4 and lots 18 to 19, Concession 3. Such works have been requested by a petition signed by the majority in number of the owners requiring drainage as described in the petition

Title:

This project shall be known as the Smith-Bolger Municipal Drain, and includes the Main Drain and Bolger-Rappin, Larose-Lappan, Bolger-Seabrooke, Larose-Seabrooke, VanDenKerkhof-Moore, Larose-Gavin and Gavin-Landon Branches.

Inspection and Survey:

An inspection of the area was completed during the fall of 1972. During that time, members of our staff inspected the course of the Main Drain and the various branches as outlined in the petition for drainage.

On the site interviews with most of the landowners were conducted and the various drainage problems and requirements were discussed at that time.

For the most part, the Main Drain was shallow, with a very irregular grade. Numerous rock out croppings were observed along its course and many acres of wet, unproductive lands were evidenced.

All of the various branch drains were very shallow and did not appear to have sufficient capacity or grade to adequately drain the adjoining lands.

*Note*  
*Bolger Rappin adds 1100*  
*shows 9952 but really 0,000*

main @	157,972	→	→	157,972
Larose Gavin @	4,743	→	→	4,743
Bolger Rappin @ (9952)	<del>8,706</del>	→	→	8302 <sup>nd</sup> to be used
Larose Seabrook @	1,442	→	→	1442 for 2016/17
Main Landon @	6,901	→	→	6901
Bolger Seabrook @	12,021	→	→	12021 maint
Larose-Lappin @	6,447	→	→	6447
VanDenKerkhof Moore @	10,012	→	→	10,012
	<u>209,490</u>			<u>207,744</u> · 2
				209,586

PROPOSED COST = Ditch Cleanout. 60 hrs. @ <sup>\$115/hr</sup> 85/hr. = \$ 5,100.  
 CLEARING \$ 750.  
 Bulldozing (SPREADING) 15 hrs @ <sup>\$100/hr</sup> 90<sup>00</sup>/hr. \$ 1,350.  
 \$ 7,200.  
 GST @ 15%  
 PST 1,080.0  
 \$ 8,280.0

$$\frac{1}{3} = \$2,760.00$$

---

Ditch Cleanout. 60 hrs @ 80<sup>00</sup>/hr. = \$ 4,800.00  
 Clearing 20 hrs @ 25<sup>00</sup>/hr. = \$ 500.00  
 Bulldozing 15 hrs @ 90<sup>00</sup>/hr. = \$ 1,350.00

GST @ 15%

6,200.00  
 930.00

\$ 7,130.00

Allocation.  
\$ 4536

Location of the Drainage Works:

Main Drain

The Main Drain commences at a point immediately north of the County Road culvert in lot 17, Concession 4. The Drain runs westerly to lot 12 of the same concession, then north into lot 11, then west, following the northern edge of the concession to lot 8. It crosses the unopened road allowance into lot 8 of Concession 5, thence into lot 8 of Concession 4, thence into lot 7, Concession 5 and westerly to its outlet at Wiltze Creek.

Construction is recommended from the eastern edge of lot 16, Concession 4 to the western edge of lot 7, Concession 5, a length of approximately 24,000 feet.

Bolger-Rappin Branch

This branch commences in lot 19, Concession 3. It flows west through County Road #3, then north between lots 17 and 18, across the Township Road and west across lots 17, 16, 15, Concession 4 to its outlet in the Main Drain. A distance of approximately 6,200 feet.

Bolger-Seabrooke Branch

This branch commences at the upstream end of the County Road culvert in lot 17, Concession 4 and flows in a westerly direction to its outlet in lot 12, of the same concession. A distance of approximately 7,060 feet.

Larose-Seabrooke Branch

This branch commences on lot 16 east of the Township Road allowance in the northeast part of lot 13, Concession 4. It flows west to the half lot line then south to its outlet in the main drain. A distance of approximately 1,287 feet.

Larose-Gavin Branch

The Larose-Gavin branch commences on the west side of the Township Road allowance distance of approximately 1500 feet north of the Larose-Seabrooke Drain. It runs directly west across the northern part of lot 13 to its outlet in the E $\frac{1}{2}$  of lot 12, Concession 12 at the Main Drain. A distance of approximately 2,137 feet.

Gavin-Landon Branch

This branch commences at the lot line between lots 7 and 8, Concession 4. The drain flows in a north eastern direction to the Main Drain in lot 9, Concession 4. A distance of approximately 4,790 feet.

Vandenkerkhof-Moore Branch

The Vandenkerkhof-Moore Branch commences in the east part of lot 10, Concession 4, about 1000 feet north of the Concession Road. This branch flows in a northerly direction to its outlet in lot 12, Concession 4 at the Main Drain. A distance of approximately 5,915 feet.

Larose-Lappan Branch

This branch commences in the centre of lot 11, Concession 3 and flows easterly through the Concession Road to its outlet at the Main Drain in lot 12, Concession 4.

Outlet Conditions and Assessments

The outlet of the Smith-Bolger Drainage works is Wiltz's Creek. This watercourse has a controlled water elevation which, on September 19th, 1972, (date of our survey) extended to about station 212+00 of the Main Drain.

Under the Drainage Act, an Engineer may assess for injuring liability. This assessment represents the cost of the construction required to relieve the owner of any land or road from liability for injury caused by water artificially made to flow from such land or road upon any other land or road.

Outlet Conditions and Assessments (Cont'd)

No provisions have been made in this report for such allowance as the downstream properties will not be, in our opinion, adversely affected by the proposed drainage works.

Recommendations:

We recommend that a drainage works be constructed, in accordance with the accompanying plans and specifications dated May 1, 1973 , to reduce the damage caused by lack of drainage, and provide additional arable land.

Grade Design: Open Portion

The Main Drain, Bolger-Seabrooke Branch and Gavin-Landon Branch have been designed with a depth of four feet, generally. This depth will provide an outlet for future tile drains, except in some cases where extremely low areas exist adjacent to the drains.

In order to adequately drain the low areas, grading in will be required by the property owners.

The Bolger-Rappin Branch, south of the road between Concessions III and IV, Larose-Lappan Branch south of the aforementioned road, Larose-Seabrooke Branch and Larose-Gavin Branch have been designed as surface water outlets and provisions have not been made to outlet future systematic tile systems.

The Bolger-Rappin and Larose-Lappan Branches, north of the Township road between Concessions III and IV, are designed to provide a tile drain outlet generally, however, adjacent low areas may require grading in by the property-owner.

The VanDerKerkhof-Moore Branch is designed as a tile drain outlet. However, the Trans-Canada Pipe Line crosses on the E $\frac{1}{2}$  of lot 11 and the design depth of the drain was reduced here, in order that the pipe line not be disturbed. Therefore, an outlet for tile drains at the lower end of this lot has not been provided for. However, such an outlet will be available at the Main Drain or the downstream portion of the branch in W $\frac{1}{2}$  of lot 12.

Capacity Design - Open Portion

Generally, recommended criteria for surface drainage of grain crops has been used.

A higher volume factor is normally used for this acreage; however, in order to provide a better cost to benefit factor, the lower capacity has been recommended.

It is estimated that an increase in total cost of about \$30,000.00 would be required to provide the higher capacity.

Closed Portion:

Upon the request of the owner of Pt. of Lots 19 and 20, Concession III, a tile drain has been designed on that property, as an extension to the Bolger-Rappin Branch.

In order to provide a reasonable sub-surface drain outlet, we recommend herein that a pipe be bored through County Road No. 3.

The drain has been designed using a run-off coefficient of  $\frac{1}{2}$ "/24 hours, recommended for satisfactory drainage of grain crops.

Cost:

The cost of this drainage works has been estimated at \$209,490.00 and is shown in detail in Annex "A" attached hereto.

Laterals:

It should be noted that the proposed drainage system herein reported, will not immediately improve all wet areas unless lateral drains are constructed by the individual property owners.

Fences:

Fence lines crossing the drain tend to collect debris and cause a restriction in the flow. Further, they are often damaged during spring flooding.

We, therefore, recommend that the respective property owners install water gates, as detailed in Standard Drawing No. 3 attached, where fence lines are required.

ALLOWANCES

Land or Crop Damage: Section 8(1) of the Drainage Act

Allowances for land or crop damage as detailed in Annex "B", hereto will, in our opinion, adequately compensate the property owners indicated for land or crop damage, if any, caused by the construction of this drainage project.

Access Bridge Allowance: Section 8(4) of the Drainage Act

An access bridge (connecting a home to the travelled road) exists on the Main Drain, on the SE Pt. of lot 13, Concession IV.

This structure is in a good state of repair, and we recommend an allowance of \$500.00 be made to the property owner for its construction.

For the purpose of maintenance, this bridge shall be the responsibility of the Drainage Works.

Water Supply Restoration:

Two large ponds are presently located on the Main Drain at about station 109+00 and 88+00. After construction of the drain, the ponds will be non-existent and we therefore recommend an allowance of \$1,400.00 be made to the owner of the W.Pt. of lot 13, Concession IV, for the restoration of these water supplies.

Future maintenance of the water supply shall be the responsibility of the property owner.

Land Allowance: Section 8(8) of the Drainage Act

Allowances for land, as detailed in Annex "C" hereto will, in our opinion, adequately compensate the property owners indicated for the land required to construct the drainage works.

BRIDGES OR CULVERTS

Road Culverts: Section 8(2) of the Drainage Act

Refer to the accompanying plan for location

Main Drain:

Township Road

Station 109+32 - a bridge exists with stone abutments and steel "I" beams; span 20.0' x rise 9.5. The bridge provides a sufficient end area; however, the span is insufficient to provide an efficient cross-section for the drain.

The bridge is in fair condition at present, and it is our opinion that the bridge does not need to be replaced at this time.

At the time of reconstruction, a minimum size of 30.0' span x 8.0 rise is recommended.

Township Road

Station 256+82 - a bridge exists, having a span of 35.0' and rise of 5.6'. The bridge provides a sufficient end area at present. However, should the bridge be replaced, we recommend that it have a span of 50.0' and a rise of 6.0'.

Bolger-Rappin Branch:

County Road #3

Station 55+11 - a 36" C.S.P. exists at this location, which is sufficient in size. However, the culvert is not low enough to provide an outlet for a sub-surface drainage system. We, therefore, recommend that a 10" x 50' smooth wall steel pipe be installed by boring. The estimated cost of the installation, \$1,650.00, has been included in the estimate of cost, Annex "A", and the pipe shall be supplied and installed by the contractor.

The difference in cost of constructing the pipe through the road, compared to the cost of a similar length of pipe in a normal field location has been assessed to the road authority.

Township Road

Station 29+40 - a 48" C.S.P. exists. This pipe satisfies the drainage requirement. However, it is insufficient in size using present M.T.C. design criteria. A 72" C.S.P. is recommended at the time of replacement of the culvert.

Larose - Seabrooke Branch:

Township Road station 11+66 - At present, a concrete culvert exists at this location. This culvert, using present M.T.C. design criteria is sufficient in size for its location on the drain. However, an invert elevation of approximately 3 feet below the top of the footings is required to drain the upstream lands



Larose - Seabrooke Branch:(Cont'd)

It is our recommendation that this culvert be replaced at the time of construction at an approximate cost estimate of \$1,200.00.

Larose-Lappan Branch:

Station 16+45 and Station 19+53

Concrete culverts, exist at these crossings. They are insufficient in depth and it may be that they will require replacement after the drain has been constructed.

A thorough design and estimate of cost for the culvert replacements have not been carried out, as it is assumed the Township Road Authority will accept the responsibility for any required reconstruction as part of their road program.

A very brief analysis has shown an estimate of cost in the area of \$11,000 should be planned for.

Farm Crossings: Section 8(5) of the Drainage Act

Farm crossings are detailed in Annex "C" hereto. Culverts to be installed will be supplied by the Township, installed by the Contractor and paid for by the drain.

Future maintenance of these crossings will be the responsibility of the respective property owners on whose lands they are installed and this work is recommended to be carried out annually.

Centreline:

The centreline for this project shall be as detailed in the Special Provisions to the General Specifications.

Distribution of Costs:

The estimated costs for this construction are apportioned to the properties responsible for benefit and outlet as determined by their areas, locations and run-off.

The detailed estimated Schedule of Assessment is attached in Annex "D" hereto, together with estimated abatements of grant and allowances, and our estimate of the net cost to each landowner on this project.

Grants:

Under Sections 62, 64 and 65 of the Drainage Act 1972, a Provincial Grant of 33 1/3% of the cost of the project assessable to agricultural lands, may be obtained.

A subsequent Federal A.R.D.A. Grant, administered through the Provincial Grant Administration Media, will further reduce assessments by another one-third.

Agricultural assessments are then payable two-thirds by Grant and one-third by property assessment.

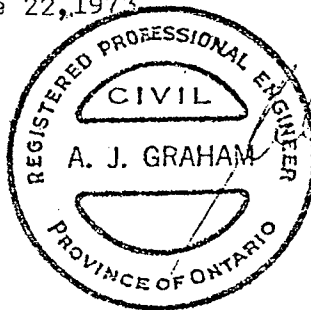
Future Maintenance:

Future maintenance of this drainage project will be the responsibility of the Municipality of the Front of Leeds and Lansdowne. The cost of this maintenance shall be borne by the properties assessed on the Main Drain or branch repaired, and in the same relative proportions as set out in the Schedule Assessment in this report. The benefit assessment to County Road #3 for the Bolger-Rappin Branch should not be considered when pro-rating future maintenance costs.

Plans and Specifications:

The plan, profile and special provisions to the General Specifications form a part of this report and are attached in Annex "E". The construction of the project shall be in accordance with these documents and the General Specifications, which are available for reference at the Township Office.

Respectfully submitted for Council's consideration this 1st day of May, 1973  
and Revised June 22, 1973



A. J. Graham, P.Eng.

A. J. Graham Engineering Consultants Ltd.

ANNEX "A"

ESTIMATED COST

<u>DESCRIPTION</u>	<u>UNIT</u>	<u>QUANTITY</u>	<u>ESTIMATED COST</u>
<u>Construction:</u>			
Earth Excavation and Spreading	CY	87,265	\$48,585.00
Rock Excavation and Disposal	CY	9,097	91,675.00
Hardpan Excavation and Disposal	CY	2,844	5,715.00
Clearing and Disposal	Ac.	6	3,620.00
Installation of Farm Culverts	EA	10	1,845.00
Installation of Drain Crossings	EA	8	3,100.00
Installation of Random Rip-Rap	CY	63	1,260.00
Installation of Hand Laid Rip-Rap	CY	39	1,065.00
Supply and Install 10" Steel Pipe by Boring	LF	50	1,650.00
Supply and Install 12" C.S.P. 16 Gauge	LF	30	105.00
Supply and Install 8" Tile	LF	250	200.00
Supply and Install 6" Tile	LF	400	240.00
Total Estimated Tender Price			<u>\$159,060.00</u>
Supply Farm Culverts	EA	10	5,235.00
Pipe Line Crossings	EA	3	2,350.00
<hr/>			
<u>Allowances:</u>			
Section 8(6)- Severence			2,000.00
Section 8(1) - Land Crop or Damage			\$ 7,670.00
Section 8(4) - Access Bridge			500.00
Section 8(8) - Land			3,405.00
- Water Supply Restoration			1,400.00
Total Allowances			<u>\$14,975.00</u>
<hr/>			
<u>Administration:</u>			
Engineer's Fees and Expenses			\$ 9,000.00
- Survey, Plan and Report			
- Prepare and Make Application to CTC for 3 Pipeline Crossings			450.00
Clerk's Fees			800.00
Printing of Reports and By-Laws			375.00
Engineer's Preparation for and Attendance at Court of Revision and Consideration of Report			500.00
Advertising and Letting of Contract			150.00
Administration and Supervision of Construction			4,000.00
Contingencies			12,595.00
Total Estimated Cost			<u>\$27,870.00</u>
<hr/>			
TOTAL ESTIMATED COST		\$209,490.00	

## ANNEX "B"

Land or Crop Damage: Section 8(1) of the Drainage Act  
and  
Land Allowance: Section 8(8) of the Drainage Act

Allowance

<u>Con.</u>	<u>Lot</u>	<u>Owner</u>	<u>Land or Crop Damage</u>	<u>Land Allowance</u>	<u>Total</u>
III	Pt. N $\frac{1}{2}$ , 11	B. Lappan	\$ 75.00	\$ 30.00	\$ 105.00
	W $\frac{1}{2}$ , 12	Marg Lappan	105.00	65.00	170.00
	W $\frac{1}{2}$ , 18	J. Gray	135.00	95.00	230.00
	NE $\frac{1}{4}$ , 18	B. Keating	80.00	50.00	130.00
	Pt. 19 & 20	G. Rappin	30.00		30.00
IV	E $\frac{1}{2}$ , 7	A. McCormick	15.00	20.00	35.00
	Lot 8	L. Gavin	540.00	200.00	740.00
	Lot 9	K. Landon	530.00	445.00	975.00
	W $\frac{1}{2}$ , 10	C. Moore	200.00	20.00	220.00
	Pt. 10	R. Moore Est.	390.00	75.00	465.00
	N. Pt. 10	M. VanDenKerkhof	145.00	25.00	170.00
	Pt. W $\frac{1}{2}$ , 11	R. Moore Est.	195.00	55.00	250.00
	Pt. W $\frac{1}{2}$ , 11	M. VanDenKerkhof	510.00	160.00	670.00
	E $\frac{1}{2}$ , 11	M. VanDenKerkhof	505.00	310.00	815.00
	W $\frac{1}{2}$ , 12	M. VanDenKerkhof	685.00	340.00	1,025.00
	E $\frac{1}{2}$ , 12	U. Gavin	570.00	285.00	855.00
	W Pt. 13	G. Larose	490.00	295.00	785.00
	NE Pt. 13	G. Larose	220.00	175.00	395.00
	SE Pt. 13	Mary Bolger	210.00	10.00	220.00
	S. Pt. 14	Mary Bolger	440.00	60.00	500.00
	SW Pt. 15	Mary Bolger	165.00	70.00	235.00
	Pt. 15	S. Seabrooke	380.00	110.00	490.00
SE Pt. 15	R & O Smith	185.00	65.00	250.00	
Pt. 16	R & O Smith	550.00	150.00	700.00	
Lot 17	R & O Smith	50.00	35.00	85.00	
V	Lot 7	D. Heaslip	65.00	45.00	110.00
	Lot 8	H. Horton	205.00	215.00	420.00
Total Allowances			\$7,670.00	\$3,405.00	\$11,075.00

ANNEX "C"

Farm Crossings: Section 8(5) The Drainage Act

<u>Con. Lot</u>	<u>Owner</u>	<u>Description of Proposed Crossing and Approximate Location</u>	<u>Estimate of Cost</u>
<u>MAIN DRAIN</u>			
IV W $\frac{1}{2}$ , 10	Clarke Moore	Sta. 150+00, Drain Crossing per Std. Drwg. No. 13	400.00
W.Pt.13	George Larose	Sta. 115+20 Drain Crossing per Std. Drwg. No. 13	400.00
E $\frac{1}{2}$ , 12	Urban Gavin	Sta. 80+00 & 125+00 Drain Crossing per Std. Drwg. No.13	800.00
S.Pt. 14	Mary Bolger	Sta. 43+50 Drain Crossing per Std. Drwg. No. 13	375.00
Pt. Lot 16	Ralph & Omer Smith	2-6'9"x5'0"x26' S.P.P.A. (12 ga) (Including Rip-Rap)	2,800.00
<u>BOLGER-RAPPIN BRANCH</u>			
IV Pt. 15	Mary Bolger	Sta. 6+50 Drain Crossing per Std. Drwg. No. 13	375.00
Lot 17	Ralph & Omar Smith	Sta. 26+71 Extend Existing 48" x 12' CSP with 48" x 16' CSP 12G.	410.00
<u>LAROSE-LAPPAN BRANCH</u>			
III NE $\frac{1}{4}$ ,11	Bernard Lappan	Sta. 37+30 Drain Crossing per Std. Drwg. No. 13	375.00
W $\frac{1}{2}$ , 12	Marg Lappan	Sta. 31+75 Drain Crossing per Std. Drwg. No. 13	375.00
<u>BOLGER-SEABROOKE BRANCH</u>			
IV E $\frac{1}{2}$ , 12	Urban Gavin	Sta. 2+00 42"x28' CSP 12G.	450.00
SE Pt.13	Mary Bolger	Sta. 15+14 42"x28' CSP 12G	450.00
S.Pt. 14	Mary Bolger	Sta. 24+50 42"x28' CSP 12G	450.00
Pt. 15	S. Seabrooke	Sta. 41+00 42"x28' CSP 12G	450.00

ANNEX "C" (cont'd)

Farm Crossings: Section 8(5) The Drainage Act

<u>Con. Lot</u>	<u>Owner</u>	<u>Description of Proposed Crossing and Approximate Location</u>	<u>Estimate of Cost</u>
<u>VAN DEN KERKHOF-MOORE BRANCH</u>			
IV Pt. 10	R. Moore Est.	Sta. 45+72 48"x28'CSP 12G	500.00
E $\frac{1}{2}$ , 11	Martin Van Den Kirkhof	Sta. 25+40 48"x28'CSP 12G	500.00
W $\frac{1}{2}$ , 12	Martin Van Den Kirkhof	Sta. 4+73 48"x28'CSP 12G	500.00
<u>GAVIN LANDON BRANCH</u>			
IV Lot 8	Leon Gavin	Sta. 25+00 36"x26'CSP 14G	285.00
Lot 9	K. Landon	Sta. 10+00 36"x26'CSP 14G	285.00
TOTAL ESTIMATED COST FARM CROSSINGS			<u>\$7,380.00</u>

Severence Allowance

Lot 10, 11, 12 M. Vandekerhof \$2,000.00 Minimum Span Required 30'x6' =  
180 sq. ft.

SCHEDULE OF ASSESSMENT

SMITH-BOLGER MAIN DRAIN

FRONT OF LEEDS AND LANSLOWNE

Project 2298

Con. Lot	Name	Approx. Acreage Affected	Main Drain		Totals	
			Benefit	Outlet		
6	Pt.18	J. Moorehead	10		25.00	25.00
6	Pt. 19	G. O'Grady	35		86.00	86.00
6	W $\frac{1}{2}$ , 20	K. Burns	15		37.00	37.00
6	E $\frac{1}{2}$ , 20	G. Burns	7		17.00	17.00
5	Pt.7	D. B. Heaslip	90	375.00		375.00
5	8	H. Horton	100	850.00	21.00	871.00
5	W $\frac{1}{2}$ , 9	H. Horton	60		17.00	17.00
5	E $\frac{1}{2}$ , 9	J. McCready	70		32.00	32.00
5	W $\frac{1}{2}$ , 10	I. Running	75		37.00	37.00
5	E $\frac{1}{2}$ , 10	V. Running	75		42.00	42.00
5	S 3/4, 11	V. McCready	150		99.00	99.00
5	N.Pt.11	B. McCready	10		3.00	3.00
5	Pt.SW $\frac{1}{4}$ ,12	V. McCready	48		47.00	47.00
5	SE $\frac{1}{4}$ ,12' & Pt. 13	S. Reid	87		82.00	82.00
5	N.Pt. 12	B. McCready	85		24.00	24.00
5	Pt. 13	B. Robinson	75		86.00	86.00
5	N.Pt. 13	A. Cross	95		27.00	27.00
5	S $\frac{1}{2}$ , 14	D. Patience	100		145.00	145.00
5	Pt.N $\frac{1}{2}$ ,14	R. Dawson	45		86.00	86.00
5	Pt.N $\frac{1}{2}$ , 14	M. Steacy	10		3.00	3.00
5	S $\frac{1}{2}$ , 15	P. Larose	100		156.00	156.00
5	NW Pt.15	M. Steacy	25		37.00	37.00
5	NE Pt.15	K. McRae	30		54.00	54.00
5	W $\frac{1}{2}$ , 16	B. O'Gready	85		210.00	210.00
5	E $\frac{1}{2}$ , 16	A. Moorehead	90		203.00	203.00
5	W $\frac{1}{2}$ , 17	J. Moorehead	90		210.00	210.00
5	E $\frac{1}{2}$ , 17	A.R.D.A.	90		205.00	205.00
5	NW $\frac{1}{4}$ , 18	A.R.D.A.	50		124.00	124.00
5	NE Pt.18	G. O'Gready	50		124.00	124.00
5	S.Pt.18	A. Berry	100		175.00	175.00
5	N $\frac{1}{2}$ ,19	G. O'Gready	100		247.00	247.00
5	W.Pt.19	A. Berry	50		131.00	131.00
5	SE Pt. 19	C. Greer	50		160.00	160.00
5	W.Pt.20	C. Greer	100		270.00	270.00
5	E $\frac{1}{2}$ , 20	C. Greer	90		299.00	299.00
5	S.Pt.21	A. Berry	90		422.00	422.00
5	NW $\frac{1}{4}$ ,21	K. Burns	15		37.00	37.00
5	E.Pt.21	A.R.D.A.	10		25.00	25.00
5	Pt.22	A.R.D.A.	25		62.00	62.00
4	E $\frac{1}{2}$ , 7	A. McCormick	50	75.00	24.00	99.00
4	8	L. Gavin	165	175.00	265.00	440.00
4	9	K. Landon	200	13,750.00	457.00	14,207.00

SCHEDULE OF ASSESSMENT

SMITH-BOLGER MAIN DRAIN

Con.	Lot	Name	Approx. Acreage Affected	Main Drain		Totals
				Benefit	Outlet	
4	W $\frac{1}{2}$ , 10	C. Moore	100	9,400.00	266.00	9,666.00
4	E.Pt.10	R. Moore Estate	75	3,900.00	264.00	4,164.00
4	N.Pt.10	M. Vandenkirkhof	25	3,900.00	28.00	3,928.00
4	Pt.W $\frac{1}{2}$ , 11	R. Moore Estate	50		197.00	197.00
4	Pt.W $\frac{1}{2}$ , 11	M. Vandenkirkhof	50	7,875.00	123.00	7,998.00
4	E $\frac{1}{2}$ , 11	M. Vandenkirkhof	100	9,875.00	337.00	10,212.00
4	W $\frac{1}{2}$ , 12	M. Vandenkirkhof	100	15,925.00	395.00	16,320.00
4	E $\frac{1}{2}$ , 12	U. Gavin	100	11,075.00	429.00	11,504.00
4	W $\frac{1}{2}$ , 13	G. Larose	100	7,675.00	420.00	8,095.00
4	SE Pt.13	M. Bolger	50	4,550.00	264.00	4,814.00
4	NE Pt.13	G. Larose	45		171.00	171.00
4	S.Pt.14	M. Bolger	100	10,550.00	546.00	11,096.00
4	N.Pt.14	G. Larose	100	1,875.00	375.00	2,250.00
4	Pt.15	M. Bolger	25	5,975.00	152.00	6,127.00
4	W.Pt.15	S. Seabrooke	25		116.00	116.00
4	E.Pt.15	S. Seabrooke	75		344.00	344.00
4	NW Pt.15	G. Larose	50		192.00	192.00
4	Pt. 15	R. & O. Smith	25	3,750.00	152.00	3,902.00
4	Pt. 16	R. & O. Smith	146	9,050.00	804.00	9,854.00
4	Pt. 16	S. Seabrooke	50		205.00	205.00
4	W $\frac{1}{2}$ , 17	R. & O. Smith	100		509.00	509.00
4	E $\frac{1}{2}$ , 17	R. Smith	97		470.00	470.00
4	18	J. Van Weert	200		1,093.00	1,093.00
4	W $\frac{1}{2}$ , 19	J. Van Weert	100		489.00	489.00
4	E $\frac{1}{2}$ , 19	J. & G. Loney	100		575.00	575.00
4	W $\frac{1}{2}$ , 20	G. Loney	100		588.00	588.00
4	SE Pt.20	J. C. Foley	52		295.00	295.00
4	NE Pt.20	C. & H. Greer	45		276.00	276.00
4	SW $\frac{1}{4}$ ,21	E. McDonald	27		166.00	166.00
4	SE Pt.21	A.R.D.A.	50		289.00	289.00
4	N $\frac{1}{2}$ ,21	T. Johnston	100		616.00	616.00
4	22	J. Flemming	150		869.00	869.00
4	N.Pt.23	A.R.D.A.	50		296.00	296.00
3	SW Pt. 6	B. Snider	15		69.00	69.00
3	E $\frac{1}{2}$ , 6	A. McKay	50		226.00	226.00
3	Pt. 7	E. Prativiera & F. Ceoun	33		197.00	197.00
3	Pt.7	A. McKay	66		306.00	306.00
3	NW $\frac{1}{4}$ ,7	D. McDonald	30		101.00	101.00
3	NE $\frac{1}{4}$ ,7	A. McKay	35		111.00	111.00
3	Pt. 8	C. Leith	140		647.00	647.00
3	NE $\frac{1}{4}$ , 8	C. Leith	45		115.00	115.00
3	S $\frac{1}{2}$ , -9	G. Cross	100		508.00	508.00
3	N $\frac{1}{2}$ , 9	E. Lappan	100		290.00	290.00
3	S.Pt.10	R. Leakey	120		688.00	688.00
3	NW $\frac{1}{4}$ , 10	K. Landon	49		153.00	153.00
3	Pt. NE $\frac{1}{4}$ ,10	B. Lappan	30		179.00	179.00
3	S $\frac{1}{2}$ &NE $\frac{1}{2}$ ,11	A. Gordon	120		719.00	719.00
3	Pt.N $\frac{1}{2}$ , 11	B. Lappan	80		478.00	478.00



SCHEDULE OF ASSESSMENT

SMITH-BOLGER MAIN DRAIN

Con.	Lot	Name	Approx. Acreage Affected	Main Drain		Totals
				Benefit	Outlet	
3	Pt. 19	Bell Canada	5		30.00	30.00
3	W $\frac{1}{2}$ , 12	M. Lappan	103		619.00	619.00
3	SE $\frac{1}{4}$ , 12	H. Crombach	50		302.00	302.00
3	NE $\frac{1}{4}$ , 12	J. McDonald	41		247.00	247.00
3	NW $\frac{1}{4}$ , 13	J. McDonald	50		301.00	301.00
3	S 3/4, 13	C. Poldervaart	150		905.00	905.00
3	SW Pt. 14	R. Tracy	16		96.00	96.00
3	S $\frac{1}{4}$ , 14	J. McDonald	84		507.00	507.00
3	N $\frac{1}{2}$ , 14	G. McDonald	100		603.00	603.00
3	S $\frac{1}{2}$ , 15	U. Warren	125		730.00	730.00
3	N $\frac{1}{2}$ , 15	A.R.D.A.	100		579.00	579.00
3	S $\frac{1}{2}$ , 16	U. Warren	116		670.00	670.00
3	N $\frac{1}{2}$ , 16	E. Webster	100		561.00	561.00
3	S.Pt. 17	I Doak	55		330.00	330.00
3	NW $\frac{1}{4}$ , 17	G. McDonald	50		283.00	283.00
3	NE Pt.17	John Vanweert	60		363.00	363.00
3	W $\frac{1}{2}$ , 18	J. Grey	55		333.00	333.00
3	E.Pt. 18	W. English	15		91.00	91.00
3	N.Pt.18	B. Keating	30		182.00	182.00
3	NW Pt.19	R. & O. Smith	30		182.00	182.00
3	Pt. 19 & 20	G. Rappin	60		365.00	365.00
3	Pt. 19 & 20	S. Seabrooke	50		304.00	304.00
3	NE Pt.20	E. Bigforde	20		73.00	73.00
3	NW Pt. 21	A. Kirkland	5		18.00	18.00
3	N.Pt.20 & 21	J. Foley	40		134.00	134.00
3	NE Pt.21	A.R.D.A.	15		73.00	73.00
2	Pt. 6	R. Kyes	5		30.00	30.00
2	7	K. McNeely	25		150.00	150.00
2	Pt. 18	C. McCready	25		150.00	150.00
2	Pt. 8 & 9	C. Leith	30		179.00	179.00
2	Pt. 9 & 10	E. Steacy	50		281.00	281.00
2	Pt. 10	A.R.D.A.	40		229.00	229.00
2	11	H. Crombach	115		639.00	639.00
2	Pt. 12	C. Poldervaart	43		235.00	235.00
2	Pt. 12	Twp. Front of Leeds & Lansdowne	15		90.00	90.00
2	Pt. 12	C. Grey	70		368.00	368.00
2	13	C. Poldervaart	115		633.00	633.00
2	Pt. 14	C. Poldervaart	50		277.00	277.00
2	Pt. 14	W. Kyes	40		241.00	241.00
2	Pt. 15	E. Warren	25		151.00	151.00
2	Pt. 15 & 16	E. Warren	15		90.00	90.00

SCHEDULE OF ASSESSMENT

SMITH-BLOGER MAIN DRAIN

Location	Approx. Acreage Affected	Main Drain		Totals
		Benefit	Outlet	
County Road #3	35		766.00	766.00
<u>Township Roads</u>				
Between Concessions 5 & 6	6		44.00	44.00
Between Concessions 4 & 5	32		238.00	238.00
Forced Road in lots 7-13, Concession 5	13	125.00	49.00	174.00
Between Concession 3 & 4	26		443.00	443.00
Between Concession 2 & 3	19		342.00	342.00
Between Lots 6 & 7, Concessions 2,3,4&5	8	125.00	144.00	269.00
Forced Road, Lots 11-14, Concession 3&4	21		325.00	325.00
Between Lots 19 & 20, Concession 3&4	13		236.00	236.00
			<u>1,821.00</u>	
		120,850.00	37,122.00	157,972.00

~~120,850~~  
~~37,122~~  
157,972

SCHEDULE OF ASSESSMENT

LAROSE - GAVIN BRANCH

FRONT OF LEEDS AND LAUSDOWNE

Con.	Lot	Name	Approx. Acreage Affected	Larose-Gavin Branch		Totals
				Benefit	Outlet	
4	E $\frac{1}{2}$ , 12	U. Gavin	9	360.00		360.00
4	W $\frac{1}{2}$ , 13	G. Larose	12	665.00	3.00	668.00
4	N.E.Pt. 13	G. Larose	12	950.00	22.00	972.00
4	S.Pt. 14	G. Larose	24		53.00	53.00
4	N.W.Pt. 15	G. Larose	12		21.00	26.00
4	Pt. 15	S. Seabrooke	12		26.00	26.00
4	Pt. 16	S. Seabrooke	11		24.00	24.00
4	E.Pt. 16	R & O Smith	11		18.00	18.00
4	W $\frac{1}{2}$ , 17	R & O Smith	10		15.00	15.00
4	E $\frac{1}{2}$ , 17	R. Smith	9		11.00	11.00
4	18	J. Van Weert	4		5.00	5.00
5	S $\frac{1}{2}$ , 14	D. Patience	47		86.00	96.00
5	S $\frac{1}{2}$ , 15	P. Larose	100		139.00	139.00
5	N.Pt. 14	R. Dawson	30		66.00	66.00
5	N.W.Pt. 15	M. Steacy	25		33.00	33.00
5	N.E.Pt. 15	K. McRae	30		48.00	48.00
5	W $\frac{1}{2}$ , 16	B. O'Gready	85		187.00	187.00
5	E $\frac{1}{2}$ , 16	A. Moorehead	90		180.00	180.00
5	W $\frac{1}{2}$ , 17	J. Moorehead	90		187.00	187.00
5	E $\frac{1}{2}$ , 17	A.R.D.A.	90		183.00	183.00
5	S.Pt. 18	A. Berry	92		114.00	114.00
5	N.W $\frac{1}{2}$ , 18	A.R.D.A.	50		11.00	11.00
5	N.E $\frac{1}{2}$ , 18	C. O'Gready	50		11.00	11.00
5	W.Pt. 19	A. Berry	35		37.00	37.00
5	S.E.Pt. 19	C & C Greer	30		26.00	26.00
5	N $\frac{1}{2}$ , 19	G. O'Gready	100		220.00	220.00
5	W.Pt. 20	C & C Greer	73		114.00	114.00
5	E $\frac{1}{2}$ , 20	C. Greer	59		108.00	108.00
5	S.Pt. 21	A. Berry	27		59.00	59.00
5	N.W $\frac{1}{2}$ , 21	K. Burns	15		33.00	33.00
5	E.Pt. 21	A.R.D.A.	10		22.00	22.00
5	Pt. 22	A.R.D.A.	25		55.00	55.00
6	Pt. 19	J. Moorehead	17		22.00	22.00
6	Pt. 19	G. O'Grady	35		77.00	77.00
6	W $\frac{1}{2}$ , 20	K. Burns	15		33.00	33.00
6	E $\frac{1}{2}$ , 20	G. Burns	7		15.00	15.00
	County Road #3		4		53.00	53.00
	Top. Road Between Con. 4 & 5		15		99.00	99.00
	Top Road Between Con. 5 & 6		6		40.00	40.00
	Forced Rd. Between Lots 11 - 14 Con. 3 & 4		1	300.00	7.00	307.00
Totals				2,275.00	2,469.00	4,743.00

SCHEDULE OF ASSESSMENT

BOLGER RAPPIN BRANCH

FRONT OF LEEDS AND LANSDOWNE

Loc.	Lot	Name	Approx. Acreage Affected	BOLGER RAPPIN BRANCH		Totals
				Benefit	Outlet	
5	N.W.Pt. 17	G. McDonald	6		4.00	4.00 ✓
3	N.E.Pt. 17	J. Van Weert	19		50.00	50.00 ✓
3	W $\frac{1}{2}$ , 18	J. Grey	28	700.00	73.00	773.00 ✓
3	Pt. 18	B. Keating	30	350.00	108.00	458.00 ✓
3	N.W.Pt. 19	R & O Smith	30		120.00	120.00 ✓
3	Pt. 19 & 20	G. Rappin	60	1,800.00	240.00	2,040.00 ✓
3	Pt. 19 & 20	S. Seabrooke	50		200.00	200.00 ✓
3	N.E.Pt. 20	E. Bigforde	20		48.00	48.00 ✓
3	N.W.Pt. 21	A. Kirkland	5		8.00	8.00 ✓
3	N.Pt. 20 & 21	J. Foley	40		92.00	92.00 ✓
3	N.E.Pt. 21	A.R.D.A.	15		48.00	48.00 ✓
3	N.W.Pt. 22	S. McDonald	1		4.00	4.00 ✓
4	Pt. 15	M. Bolger	10	1,000.00	-----	1,000.00 ✓
4	Pt. 15	R & O Smith	11	200.00	11.00	811.00 ✓
4	Pt. 16	R & O Smith	22	750.00	23.00	773.00 ✓
4	W $\frac{1}{2}$ , 17	R & O Smith	11	600.00	29.00	629.00 ✓
4	E $\frac{1}{2}$ , 17	R Smith	11		29.00	29.00 ✓
4	18	J. Van Weert	23		92.00	92.00 ✓
4	W $\frac{1}{2}$ , 19	J. Van Weert	12		48.00	48.00 ✓
4	E $\frac{1}{2}$ , 19	J & G Loney	12		48.00	48.00 ✓
4	W $\frac{1}{2}$ , 20	G. Lorey	12		48.00	48.00 ✓
4	S.E.Pt. 20	J. C. Foley	12		48.00	48.00 ✓
4	S.W $\frac{1}{4}$ , 21	E. McDonald	6		24.00	24.00 ✓
4	S.E.Pt. 21	A.R.D.A.	12		48.00	48.00 ✓
	County Road #3		8			192.00
	Twp Rd. Bet. Conc. 3 & 4		7	1,746.00	192.00	<del>4,938.00</del>
	Twp Rd. Bet. Lots 19 & 20			530.00	77.00	607.00
	Conc. 3 & 4		5		60.00	60.00
					<b>329.00</b>	

Totals

~~2,275.00~~  
6,538.00

9,000.00  
**8206.00**

*also add 2000  
on 19th 1/4*

ADJUSTED AS PER INSTRUCTIONS IN ENGINEER'S REPORT  
FOR FUTURE MAINTENANCE ASSESSMENTS

SCHEDULE OF ASSESSMENT

LAROSE SEABROOKE BRANCH

FRONT OF LEEDS AND LANSDOWLE

Con.	Lot	Name	Approx. Acreage Affected	LAROSE-SEABROOKE BRANCH		Totals
				Benefit	Outlet	
4	N.E.Pt. 13	G. Larose	16	300.00		300.00
4	N.Pt. 14	G. Larose	38	700.00	89.00	789.00
4	N.W.Pt. 15	G. Larose	15		35.00	35.00
4	Pt. 15	S. Seabrooke	18		42.00	42.00
4	Pt. 16	S. Seabrooke	28		66.00	66.00
4	Pt. 16	R & O Smith	18		42.00	42.00
4	W <sup>1</sup> / <sub>2</sub> , 17	R & O Smith	17		24.00	24.00
4	E <sup>1</sup> / <sub>2</sub> , 17	R. Smith	14		16.00	16.00
County Road No. 3			4	100.00	28.00	128.00
Totals				1,100.00	342.00	1,442.00 ✓

Con.	Lot	Name	Approx. Acreage Affected	GAVIN-LANDON BRANCH		Totals
				Benefit	Outlet	
4	E <sup>1</sup> / <sub>2</sub> , 7	A. McCormick	25	975.00	214.00	1,189.00
4	8	L. Gavin	60	3,250.00	512.00	3,762.00
4	9	K. Landon	51	1,950.00		1,950.00
Totals				6,175.00	726.00	6,901.00 ✓

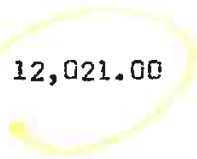
SCHEDULE OF ASSESSMENT

BOLGER SEABROOKE BRANCH

FRONT OF LEEDS AND LANSDOWNE

Con.	Lot	Name	Approx. Acreage Affected	BOLGER-SEABROOKE BRANCH		Totals
				Benefit	Outlet	
4	E $\frac{1}{2}$ , 12	U. Gavin	5	375.00		375.00
4	W.Pt. 13	G. Larose	8	810.00	7.00	817.00
4	S.E.Pt. 13	M. Bolger	15	1,036.00	17.00	1,053.00
4	S.Pt. 14	M. Bolger	35	2,431.00	82.00	2,513.00
4	W.Pt. 15	S. Seabrooke	20	1,355.00	56.00	1,411.00
4	E.Pt. 15	S. Seabrooke	27	1,355.00	110.00	1,465.00
4	Pt. 15	R & O Smith	4		17.00	17.00
4	Pt. 16	R & O Smith	42	2,395.00	179.00	2,574.00
4	Pt. 16	S. Seabrooke	7		30.00	30.00
4	W $\frac{1}{2}$ , 17	R & O Smith	20	327.00	85.00	412.00
4	E $\frac{1}{2}$ , 17	R. Smith	20		85.00	85.00
4	18	J. Van Weert	69		229.00	229.00
4	19	J. Van Weert	25		64.00	64.00
4	E $\frac{1}{2}$ , 19	J & G Loney	21		43.00	43.00
4	W $\frac{1}{2}$ , 20	G. Loney	12		51.00	51.00
4	N.E.Pt. 20	C & H Greer	6		26.00	26.00
5	S.Pt. 18	A. Berry	8		34.00	34.00
5	W.Pt. 19	A. Berry	15		64.00	64.00
5	S.E.Pt. 19	C & C Greer	20		85.00	85.00
5	W.Pt. 20	C & C Greer	27		102.00	102.00
5	E $\frac{1}{2}$ , 20	C. Greer	31		128.00	128.00
5	S.Pt. 21	A. Berry	63		250.00	250.00
County Road No. 3			3		77.00	77.00
Twp Rd Bet. Conc. 4 & 5			6		77.00	77.00
Twp Rd Bet. Lots 19 & 20			3		39.00	39.00
Totals				\$10,084.00	1,937.00	12,021.00

193



SCHEDULE OF ASSESSMENT

LAROSE - LAPPAN BRANCH

FRONT OF LEEDS AND LANSDOWNE

Con.	Lot	Name	Approx. Acreage Affected	LAROSE-LAPPAN BRANCH Benefit	Outlet	Totals
4	E $\frac{1}{2}$ , 12	U. Gavin	7	725.00		725.00
4	W $\frac{1}{2}$ , 12	M. Vanderkerkof	15	987.00	5.00	985.00
	E $\frac{1}{2}$ , 11	M. Vanderkerkof	16	700.00	6.00	706.00
4	Pt. W $\frac{1}{2}$ , 11	R. Moore Estate	11		4.00	4.00
4	Pt. 10	R. Moore Estate	8		3.00	3.00
	W $\frac{1}{2}$ , 10	C. Moore	3		1.00	1.00
	S.W. $\frac{1}{4}$ , 6	B. Snider	7		15.00	15.00
3	E $\frac{1}{2}$ , 5	A. McKay	22		47.00	47.00
3	Pt. 7	E. Prataciera & F. Ceoun	33		70.00	70.00
3	Pt. 7	A. McKay	42		87.00	87.00
3	Pt. 8	C. Leith	90		170.00	170.00
	S $\frac{1}{2}$ , 9	G. Cross	150		181.00	181.00
	N $\frac{1}{2}$ , 9	E. Lappan	27		30.00	30.00
3	S.Pt. 10	R. Leakey	120		245.00	245.00
	N.W. $\frac{1}{4}$ , 10	K. Landon	25		26.00	26.00
	N.E. $\frac{1}{4}$ , 10	B. Lappan	28		60.00	60.00
3	S $\frac{1}{2}$ & W $\frac{1}{2}$ , 11	A. Gordon	98		209.00	209.00
	Pt. N $\frac{1}{2}$ , 11	B. Lappan	80	740.00	115.00	655.00
	W $\frac{1}{2}$ , 12	M. Lappan	34	1,325.00	13.00	1,336.00
3	N.E. $\frac{1}{4}$ , 12	J. McDonald	24		34.00	34.00
3	N.W. $\frac{1}{4}$ , 12	J. McDonald	12		17.00	17.00
	Pt. 6	R. Keyes	5		11.00	11.00
2	7	K. McNeely	25		53.00	53.00
2	Pt. 8	C. McCreedy	25		53.00	53.00
	Pt. 8 & 9	C. Leith	30		64.00	64.00
	Pt. 9 & 10	E. Steacy	50		98.00	98.00
2	Pt. 10	A.R.D.A.	40		85.00	85.00
Forced Rd. Bet. Lots 11-14 Con 3 & 4					9.00	9.00
Twp Rd. Bet. Conc. 3 & 4					6.00	6.00
Twp Rd. Bet. Conc. 2 & 3				200.00	9.00	209.00
Twp Rd. Bet. Lots 5 & 7 Conc. 2, 3, 4, & 5					51.00	51.00
Totals				4,670.00	1,777.00	6,447.00

} 75

SCHEDULE OF ASSESSMENT

VANDENKERKHOF - MOORE BRANCH

FRONT OF LEEDS AND LANGBOURNE

<u>Con.</u>	<u>Lot</u>	<u>Name</u>	<u>Approx. Acreage Affected</u>	<u>Vandenkerkhof-Moore Branch Benefit</u>	<u>Outlet</u>	<u>Totals</u>
4	W <sup>1</sup> / <sub>2</sub> , 12	M. Vandenkerkhof	33	749.00	9.00	749.00
4	E <sup>1</sup> / <sub>2</sub> , 11	M. Vandenkerkhof	44	4,075.00	19.00	4,094.00
4	Pt. W <sup>1</sup> / <sub>2</sub> , 11	R. Moore Estate	23	1,225.00	46.00	1,271.00
4	Pt. W <sup>1</sup> / <sub>2</sub> , 11	M. Vandenkerkhof	30		60.00	60.00
4	Pt. 12	R. Moore Estate	63	1,600.00	113.00	1,913.00
4	W <sup>1</sup> / <sub>2</sub> , 10	C. Moore	65		229.00	229.00
4	9	K. Landon	120		420.00	420.00
4	Pt. 8	L. Gavin	62		219.00	219.00
3	S.W. <sup>1</sup> / <sub>4</sub> , 6	B. Snider	8		28.00	28.00
3	E <sup>1</sup> / <sub>2</sub> , 6	A. McKay	28		99.00	99.00
3	Pt. 7	A. McKay	24		85.00	85.00
3	N.W. <sup>1</sup> / <sub>4</sub> , 7	D. McDonald	30		106.00	106.00
3	N.E. <sup>1</sup> / <sub>4</sub> , 7	A. McKay	35		116.00	116.00
3	Pt. 8	C. Leith	50		177.00	177.00
3	N.E. <sup>1</sup> / <sub>4</sub> , 8	C. Leith	45		120.00	120.00
3	W <sup>1</sup> / <sub>2</sub> , 9	E. Lappan	73		187.00	187.00
3	N.W. <sup>1</sup> / <sub>4</sub> , 10	K. Landon	24		53.00	53.00
3	N.E. <sup>1</sup> / <sub>4</sub> , 10	B. Lappan	2		7.00	7.00
Twp. Road Bet. Conc. 3 & 4			3		36.00	36.00
Twp. Rd. Bet. Lots 6 & 7, Con. 2, 3, 4 & 5			4		43.00	43.00
<b>Totals</b>				<b>7,840.00</b>	<b>2,172.00</b>	<b>10,012.00</b>

79



SMITH-BOLGER MUNICIPAL DRAIN

SUMMARY OF THE WORK

Physical Description

Cost of Work

Total Area Assessed 9,000 Acres (approx.)

Length of Drain 56,178 ft. Open  
730 ft. Closed

Construction \$159,060.00  
Allowance 14,975.00  
Survey, Plan & Report 9,000.00  
Bridges & Culverts 10,180.00  
Administration 16,275.00

✓ \$209,490.00

ANALYSIS OF ASSESSMENT

1. Publicly Owned

- (i) Canada
- (ii) Municipal

\$2,334.00

6,706.00

2. Privately Owned

- (i) Used for Agricultural Purposes

\$200,450.00

} \$209,490.00

Estimated Provincial Grant of 33 1/3% = \$66,816.66

Estimated Federal A.R.D.A. Grant of 33 1/3% = \$66,816.66

Estimated Assessment to Agricultural Lands = \$66,816.68

ASSESSMENT BREAKDOWN SHEET

MAIN AND BRANCHES

SMITH - BOLGER MUNICIPAL DRAINAGE WORKS

Con.	Lot	Name	Estimated Total Assessment	Assess. Less Est Grant	Total Estimated Allowances	Estimated Net Cost
6	Pt. 18	J. Moorehead	47.00	15.66		15.66
6	Pt. 19	G. O'Grady	163.00	54.33		54.33
6	W $\frac{1}{2}$ , 20	K. Burns	70.00	23.33		23.33
6	E $\frac{1}{2}$ , 20	G. Burns	32.00	10.66		10.66
5	Pt. 7	D. B. Heaslip	375.00	125.00	110.00	15.00
5	8	H. Horton	871.00	290.33	420.00	Cr. 129.67
5	W $\frac{1}{2}$ , 9	H. Horton	17.00	5.66		5.66
5	E $\frac{1}{2}$ , 9	J. McCready	32.00	10.66		10.66
5	W $\frac{1}{2}$ , 10	I. Running	37.00	12.33		12.33
5	E $\frac{1}{2}$ , 10	V. Running	42.00	14.00		14.00
5	S $\frac{1}{4}$ , 11	V. McCready	99.00	33.00		33.00
5	N.Pt. 11	B. McCready	3.00	1.00		1.00
5	Pt.S.W $\frac{1}{4}$ ,12	V. McCready	47.00	15.66		15.66
5	S.E $\frac{1}{4}$ ,12&Pt. 13	S. Reid	82.00	27.33		27.33
5	N.Pt. 12	B. McCready	24.00	8.00		8.00
5	Pt. 13	B. Robinson	86.00	28.66		28.66
5	N.Pt. 13	A. Cross	27.00	9.00		9.00
5	S $\frac{1}{2}$ , 14	D. Patience	231.00	77.00		77.00
5	Pt.N $\frac{1}{2}$ , 14	R. Dawson	152.00	50.66		50.66
5	Pt.N $\frac{1}{2}$ , 14	M. Steacy	3.00	1.00		1.00
5	S $\frac{1}{2}$ , 15	F. Larose	295.00	98.33		98.33
5	N.W.Pt. 15	M. Steacy	70.00	23.33		23.33
5	N.E.Pt. 15	K. McRae	102.00	34.00		34.00
5	W $\frac{1}{2}$ , 16	B. O'Grady	397.00	132.33		132.33
5	E $\frac{1}{2}$ , 16	A. Moorehead	383.00	127.66		127.66
5	W $\frac{1}{2}$ , 17	J. Moorehead	397.00	132.33		132.33
5	E $\frac{1}{2}$ , 17	A. R. D. A.	388.00	388.00		388.00
5	N.W. $\frac{1}{4}$ , 18	A. R. D. A.	135.00	135.00		135.00
5	N.E.Pt. 18	G. O'Grady	135.00	45.00		45.00
5	S.Pt. 18	A. Berry	323.00	107.66		107.66
5	N $\frac{1}{2}$ , 19	G. O'Grady	467.00	155.66		155.66
5	W.Pt. 19	A. Berry	232.00	77.33		77.33
5	S.E.Pt. 19	C & C. Greer	271.00	90.33		90.33
5	W. Pt. 20	C & C Greer	486.00	162.00		162.00
5	E $\frac{1}{2}$ , 20	C. Greer	535.00	178.33		178.33
5	S. Pt. 21	A. Berry	731.00	243.66		243.66
5	N.W. $\frac{1}{4}$ , 21	K. Burns	70.00	23.33		23.33
5	E.Pt. 21	A. R. D. A.	47.00	47.00		47.00
5	Pt. 22	A. R. D. A.	117.00	117.00		117.00
4	E $\frac{1}{2}$ , 7	A. McCormick	1,288.00	429.33	35.00	394.33
4	8	L. Gavin	4,421.00	1,473.66	740.00	733.66
4	9	K. Landon	16,577.00	5,525.66	975.00	4,550.66
4	W $\frac{1}{2}$ , 10	C. Moore	10,066.00	3,355.33	220.00	3,135.33
4	W.Pt. 10	R. Moore Est.	6,080.00	2,026.66	465.00	1,561.66

Con.	Lct	Name	Estimated Total Assessment	Assess. Less Est. Grant	Total Estimated Allowances	Estimated Net Cost
4	N.Pt. 10	M. Vandenkirchhof	3,928.00	1,309.33	170.00	1,139.33
4	Pt. W $\frac{1}{2}$ , 11	R. Moore Estate	1,472.00	490.66	250.00	240.66
4	Pt. W $\frac{1}{2}$ , 11	M. Vandenkirchhof	9,658.00	3,219.33	2,670.00	549.33
4	E $\frac{1}{2}$ , 11	M. Vandenkirchhof	13,012.00	4,337.33	815.00	3,522.33
4	W $\frac{1}{2}$ , 12	M. Vandenkirchhof	18,054.00	6,018.00	1,025.00	4,993.00
4	E $\frac{1}{2}$ , 12	U. Gavin	12,964.00	4,321.33	855.00	3,466.33
4	W $\frac{1}{2}$ , 13	G. Larose	9,580.00	3,193.33	2,185.00	1,008.33
4	S.E.Pt. 13	M. Bolger	5,867.00	1,955.66	720.00	1,235.66
4	N.E.Pt. 13	G. Larose	1,443.00	481.00	395.00	86.00
4	S.Pt. 14	M. Bolger	13,609.00	4,536.33	500.00	4,036.33
4	N.Pt. 14	G. Larose	3,092.00	1,036.66		1,036.66
4	Pt. 15	M. Bolger	7,127.00	2,375.66	235.00	2,140.66
4	W.Pt. 15	S. Seabrooke	1,527.00	509.00	490.00	19.00
4	E.Pt. 15	S. Seabrooke	1,877.00	625.66		625.66
4	N.W.Pt. 15	G. Larose	253.00	84.33		84.33
4	Pt. 15	R & O Smith	4,730.00	1,576.66	250.00	1,326.66
4	Pt. 16	R & O Smith	13,261.00	4,420.33	700.00	3,720.00
4	Pt. 16	S. Seabrooke	325.00	108.33		108.33
4	W $\frac{1}{2}$ , 17	R & O Smith	1,589.00	529.66	85.00	444.66
4	E $\frac{1}{2}$ , 17	R. Smith	611.00	203.66		203.66
4	18	J. Van Weert	1,419.00	473.00		473.00
4	W $\frac{1}{2}$ , 19	J. Van Weert	601.00	200.33		200.33
4	E $\frac{1}{2}$ , 19	J. & G. Loney	666.00	222.00		222.00
4	W $\frac{1}{2}$ , 20	G. Loney	1,055.00	351.66		351.66
4	S.E.Pt. 20	J. C. Foley	343.00	114.33		114.33
4	N.E.Pt. 20	C & H Greer	302.00	100.66		100.66
4	S.W. $\frac{1}{4}$ , 21	E. McDonald	190.00	63.33		63.33
4	S.E.Pt. 21	A. R. D. A.	337.00	337.00		337.00
4	N $\frac{1}{2}$ , 21	T. Johnston	616.00	205.33		205.33
4	22	J. Flemming	869.00	289.66		289.66
4	N.Ft. 23	A. R. D. A.	296.00	296.00		296.00
3	S.W.Pt. 6	B. Snider	112.00	37.33		37.33
3	E $\frac{1}{2}$ , 6	A. McKay	372.00	124.00		124.00
3	Pt. 7	E. Prativiera & F. Ceoun	267.00	89.00		89.00
3	Pt. 7	A. McKay	478.00	159.33		159.33
3	N.W $\frac{1}{4}$ , 7	D. McDonald	207.00	69.00		69.00
3	N.E. $\frac{1}{4}$ , 7	A. McKay	227.00	75.66		75.66
3	Pt. 8	C. Leith	994.00	331.33		331.33
3	N.E. $\frac{1}{4}$ , 8	C. Leith	235.00	78.33		78.33
3	S $\frac{1}{2}$ , 9	G. Cross	689.00	229.66		229.66
3	N $\frac{1}{2}$ , 9	E. Lappan	507.00	169.00		169.00
3	S Ft. 10	R. Leakey	933.00	311.00		311.00
3	N.W $\frac{1}{4}$ , 10	K. Landon	232.00	77.33		77.33
3	Pt. NE $\frac{1}{4}$ , 10	B. Lappan	246.00	82.00		82.00
3	S $\frac{1}{2}$ , NE $\frac{1}{4}$ , 11	A. Gordon	928.00	309.33		309.33
3	N.W. $\frac{1}{4}$ , 11	B. Lappan	1,333.00	444.33	105.00	339.33
3	W $\frac{1}{2}$ , 12	M. Lappan	1,957.00	652.33	170.00	482.33
3	SE $\frac{1}{2}$ , 12	H. Crombach	302.00	100.66		100.66
3	N.E. $\frac{1}{4}$ , 12	J. McDonald	281.00	93.66		93.66
3	N.W. $\frac{1}{4}$ , 13	J. McDonald	318.00	106.00		106.00
3	S $\frac{1}{2}$ , 13	C. Foldersvaart	905.00	301.66		301.66
3	S.W.Pt. 14	R. Tracy	96.00	32.00		32.00

Con.	Lot	Name	Estimated Total Assessment	Assess. Less Est. Grant	Total Estimated Allowances	Estimated Net Cost
3	S $\frac{1}{2}$ , 14	J. McDonald	507.00	169.00		169.00
3	N $\frac{1}{2}$ , 14	G. McDonald	603.00	201.00		201.00
3	S $\frac{1}{2}$ , 15	U. Warren	730.00	243.33		243.33
3	N $\frac{1}{2}$ , 15	A. R. D. A.	579.00	579.00		579.00
3	S $\frac{1}{2}$ , 16	U. Warren	670.00	223.33		223.33
3	N $\frac{1}{2}$ , 16	E. Webster	561.00	187.00		187.00
3	S.Pt. 17	I. Doak	330.00	110.00		110.00
3	N.W $\frac{1}{2}$ , 17	G. McDonald	287.00	95.66		95.66
3	N.E.Pt. 17	J. Van Weert	413.00	137.66		137.66
3	W $\frac{1}{2}$ , 18	J. Grey	1,106.00	368.66	230.00	138.66
3	E.Pt. 18	W. English	91.00	30.33		30.33
3	N.Pt. 18	B. Keating	640.00	213.33	130.00	83.33
3	N.W.Pt. 19	R & O Smith	302.00	100.66		100.66
3	Pt. 19 & 20	G. Rappin	2,405.00	801.66	30.00	771.66
3	Pt. 19 & 20	S. Seabrooke	504.00	168.00		168.00
3	N.E.Pt. 20	E. Bigforde	121.00	40.33		40.33
3	N.W.Pt. 21	A. Kirkland	26.00	8.66		8.66
3	N.Pt. 20 & 21	J. Foley	226.00	75.33		75.33
3	N.E.Pt. 21	A. R. D. A.	121.00	121.00		121.00
2	Pt. 6	R. Kyes	41.00	13.66		13.66
2	7	K. McNeely	203.00	67.66		67.66
2	Ft. 8	C. McCready	203.00	67.66		67.66
2	Pt. 9 & 10	C. Leith	243.00	81.00		81.00
2	Pt. 9 & 10	E. Steacy	379.00	126.33		126.33
2	Pt. 10	A. R. D. A.	314.00	314.00		314.00
2	11	H. Crombach	639.00	213.00		213.00
2	Pt. 12	C. Poldervaart	235.00	78.33		78.33
2	Pt. 12	Twp Ft. Leeds & Lansdowne	90.00	90.00		90.00
2	Pt. 12	C. Grey	368.00	122.66		122.66
2	13	C. Poldervaart	633.00	211.00		211.00
2	Pt. 14	C. Poldervaart	277.00	92.33		92.33
2	Pt. 14	W. Kyes	241.00	80.33		80.33
2	Pt. 15	E. Warren	151.00	50.33		50.33
2	Pt. 15&16	E. Warren	90.00	30.00		30.00
County Road No, 3			2,962.00	2,962.00		2,962.00
<u>Township Roads</u>						
Between Concessions 5 & 6			84.00	84.00		84.00
Between Concessions 4 & 5			414.00	414.00		414.00
Forced Road Bet. Lots 7-13 Con. 5			174.00	174.00		174.00
Between Concessions 3 & 4			1,399.00	1,399.00		1,399.00
Between Concessions 2 & 3			551.00	551.00		551.00
Bet. Lots 6&7, Con, 2,3,4, & 5			363.00	363.00		363.00
Forced Rd. Bet. Lots 11-14, Con 3&4			334.00	334.00		334.00
Bet. Lots 19 & 20, Con. 3 & 4			335.00	335.00		335.00