



Township of
Leeds and the
Thousand Islands

Residential Decks

Building Permit Application and Information Guide

Municipal Office

1233 Prince Street
P.O. Box 280
Lansdowne, Ontario
K0E 1L0
Phone: 613-659-2415
www.leeds1000islands.ca

Office Hours

Mon – Fri 9:00 am – 4:30 pm

Inspections

[buildinginspections@
townshipleeds.on.ca](mailto:buildinginspections@townshipleeds.on.ca)

General Inquiries and Application Submissions

Building Assistant
Ext. 206
[buildingassistant@
townshipleeds.on.ca](mailto:buildingassistant@townshipleeds.on.ca)

Building Code Inquires

Chief Building Official
Ext. 210
cbo@townshipleeds.on.ca

Building Permit Application Checklist

Items Required for a Complete Building Application Submission

- Complete building permit application
- Schedule 1: Designer Information form (attached)
- Copy of Deed/Land Transfer (if not registered owner on file)
- Agent Authorization form (required if the property owner is not submitting the application)
- Approvals from agencies considered “applicable” law such as:
 - CRCA (Cataragui Region Conservation Authority)
Emily Su: 613-546-4228 ext. 258
www.crc.ca
 - Leeds Grenville and Lanark Health Unit
Nancy Carpenter: 613-345-5685 ext. 5685
 - United Counties of Leeds and Grenville: 1-613-342-3840
- Permits/Approvals may also be required from:
 - The St. Lawrence Parks Commission: 613-543-3704
www.parks.on.ca
 - Electrical Safety Authority: 1-877-372-7233
Esasafe.com
 - MNRF (Ministry of Natural Resources and Forestry):
613-531-5700
- Plot plan indicating the following (sample attached):
 - Property address
 - Dimensions and area of the property
 - Square footage of all existing structures on the property
 - Dimensions of deck
 - Distance from deck to all property lines, easements, right-of-ways, and other structures
 - Location of septic tank and, septic system and distance from deck (if applicable)
 - Site plans may be hand drawn but must be clear and drawn to scale
- 1 set of construction drawings (11” x 17” and PDF version) consisting of fully dimensioned plan view and cross-section view. Please refer to sample drawings.
- Pay all applicable fees according to the fees bylaw (attached)

Required Plan Submissions

Plan View Showing:

- Deck dimensions
- Column size, spacing and locations
- Footing; Pier sizing
- Beam size, span and location
- Joist size, spacing and direction
- Stair location and width
- Ledger board size and connection details
- Decking size and material
- Type of material used for structure

Cross Section Showing:

- Deck height above finished grade
- Footing/foundation size and depth below grade
- Beam size and method of connection to column
- Column size and method of connection to pier
- Joist and beam cantilever distances
- Guard/railing height and type

Covered Decks

The following information is required for covered decks in addition to the above:

- Truss layout from the manufacturer or rafter size, spacing and span if hand-framing
- Connection detail of beam to support posts
- Beam size and span
- Column size, spacing and locations
- Roof height and slope
- Sheathing material and thickness, roofing material type

NOTE: Deck blocks are not permitted to be used on a deck greater than 2' above grade and/or a deck connected to any structure.

Schedule A to By-law Number 22-050

**Schedule "C" To By-Law 21-061, As Amended
Fees for Building Permits**

Type of Construction	Value	Proposed Amendment	2022 Fee
Deposits			
Non-Refundable Administration fee to file a building permit application (to be applied to permit fee if building permit is issued)	Value of Construction less than \$30,000	\$150	\$140
	Value of Construction \$30,000 or greater	\$500	\$500
Annual Permit Renewal (Including Septic)		\$150	\$120
Change of Use Permit	Flat Fee	\$215	\$215
Transfer Permit (no change in original plans)		\$150	\$140
Demolition Permit		\$150	\$140
Temporary Tents	Flat Fee	\$150	\$140
Conditional Building Permits			
Administration Fee: to cover legal fees for agreement	10% of the required permit fee in addition to regular permit fee for construction, plus registration costs for agreement where required		
Securities for Conditional Building Permits			
Residential	5% of estimated cost of Construction \$15,000 max		
Commercial	10% of estimated cost of Construction		
Commercial , Industrial, Institutional	Per \$1,000 of value, minimum \$150	\$18.80	\$18.80
Agricultural Building	Per \$1,000 of value, Minimum \$150	\$12.40	\$12.40
Residential (including renovations, building additions and decks)	Per \$1,000 of value, Minimum \$150	\$17.55	\$17.55
Accessory residential buildings/structures	Per \$1,000 of value, Minimum \$150	\$15.50	\$15.50
Swimming pools above ground/in-ground	Flat fee plus deck	\$150	\$140

Schedule A to By-law Number 22-050

Schedule "C" To By-Law 21-061, As Amended Fees for Building Permits

Type of Construction	Value	Proposed Amendment	2022 Fee
Heating/Ventilation/Air Conditioning system (HVAC)	Per \$1,000 of value, Minimum \$150	\$11	\$11
Heat Pump	Per \$1,000 of value, Minimum \$150	\$150	\$110
Solar Panels	Per \$1,000 of value, Minimum \$150	\$11	\$11
Solid Fuel Appliances (wood stove, chimney, outdoor furnace)		\$150	\$140
Plumbing Permit	Per \$1,000 of value, minimum \$150	\$150	\$110
Occupancy/Final Permit	Flat Fee if required for property sale	\$150	\$110
File Searches	Per Hour	\$60	\$60
Limiting Distance Agreement	Plus cost of legal review and registration	\$500	

Building Permit Deposits	In addition to the permit fees, deposits shall be required in the following amount:	Proposed Amendment	2022 Fee
Projects less than \$50,000	Deposits will be returned when final inspection is passed. Building Permit renewal fees may be deducted from deposit if final inspection is not completed in 4 years	\$600	\$560
*If the deposit is reduced to 0 a new deposit in the full amount is required to be provided prior to further inspections being booked.			

Schedule A to By-law Number 22-050

**Schedule "C" To By-Law 21-061, As Amended
Fees for Building Permits**

Infractions	If necessary, deductions shall be subtracted from required deposit fee as outlined below.		
		Proposed Amendment	2022 Fee
Inspection Requested - not ready	Per Occurrence	\$150	\$140
Inspection - Not called for	Per Occurrence	\$150	\$140
Inspection - Extra required	Per Occurrence	\$150	\$140
Other	Per Hour	\$60	\$60
Alternative Solutions:	Where a solution is required outside of the scope of the Building Code (plus third-party costs)	\$1000	\$1000
Withdrawn Permit	The fees that may be refunded if a permit application is withdrawn		
	No refund shall be made for amount less than the administration fee as included in this schedule and the administration fee is forfeited if the permit is cancelled or withdrawn.		

For Any Construction Started Prior to Obtaining a Building Permit	Proposed Amendment	2022
The Building Permit Fee shall be double the normal fee	Minimum \$500. to a maximum of additional \$2,500 above regular fee	Minimum \$500 to a maximum of additional \$2,500 above regular fee

Schedule A to By-law Number 22-050

Schedule "C" To By-Law 21-061, As Amended Fees for Building Permits

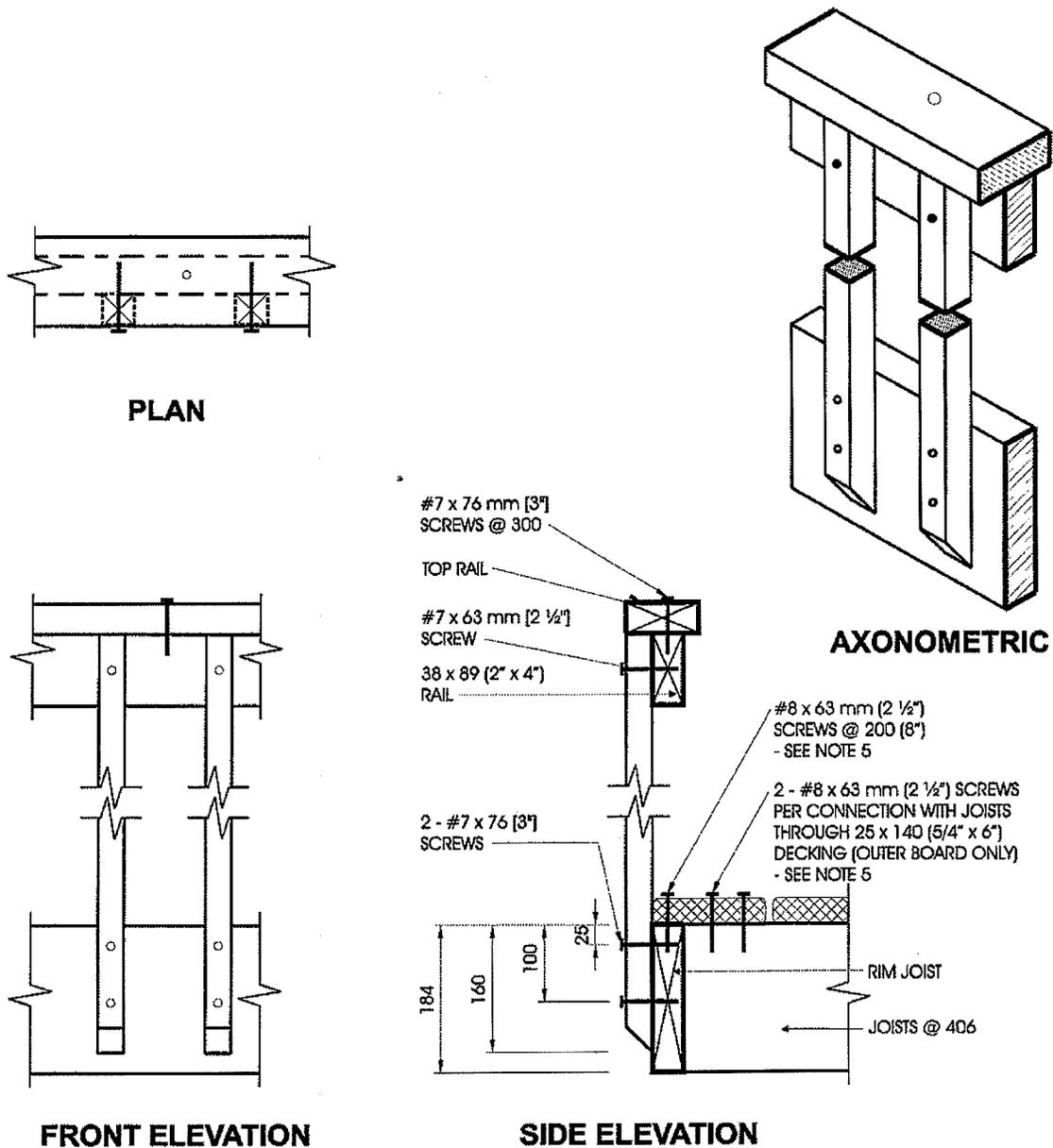
Evaluation Amounts for Determining Value of Construction			
Type of Construction		Proposed Amendment	2022 Fee
Residential			
1 st Floor	Contractors Price or per square foot amount	\$172.04	\$155.30
All other floors	Contractors Price or per square foot amount	\$137.63	\$123.80
3 season sunroom, enclosed porch or veranda	Contractors Price or per square foot amount	\$57.35	\$51.75
Covered Deck	Contractors Price or per square foot amount	\$31.50	\$31.50
Uncovered Deck	Contractors Price or per square foot amount	\$17.20	\$15.20
Garage, Shed, Accessory Structure	Contractors Price or per square foot amount	\$34.41	\$31.50
Commercial, industrial, institutional			
Farm Building	Contractors Price or Per Square Foot amount	\$105.52	\$96.50
	Contractors Price or Per Square Foot amount	\$34.41	\$30.00

**The greater value of the Contractors provided value in the permit application, or the values above will be applied to determine the permit cost where there is a discrepancy.

Schedule A to By-law Number 22-050

**Schedule "C" To By-Law 21-061, As Amended
Fees for Building Permits**

Septic Permit and Review Fees		
	Proposed Fee	Health Unit Fee
Sewage system permit	\$850	\$721
Tertiary sewage system permit	\$1,050	\$798
Permit Renewal/Revision with no inspection	\$150	\$62
Permit Renewal/Revision with site inspection	\$280	\$206
Permit Revision/change of installer	\$75	\$62
Septic Tank Replacement, alterations to existing system	\$450	\$360
Maintenance/performance/site inspection	\$250	\$206
Review of Planning Application: Minor Variances	\$215	\$206
Zoning Amendments		
Severance Applications/lot	\$475	\$443
*Multiple Severances more than 1 application on same property if submitted at the same time	\$200	\$180
Subdivision Plan Review (non communal system)	\$200/lot to max of \$5,000 + 13% HST	\$200/lot to max of \$5,000 + 13% HST
File Search	\$110	\$103
Permit to Decommission Septic System	\$150	
Review for Pool Installation	\$150	



Detail ED-1

Exterior Connection: Cantilevered Picket Screwed to Rim Joist

Notes:

1. Provide a suitable post, return, or solid support at each end of the guard.
2. Wood for cantilevered pickets shall be Douglas Fir-Larch, Spruce-Pine-Fir, or Hem-Fir Species.
3. Fasten rim joist to each floor joist with 3 - 82 mm (3 1/4") nails.
4. Dimensions shown are in mm unless otherwise specified.
5. The outer deck board shall not be less than 140 mm (6" nominal) wide. Where 38 mm (2" nominal) thick boards are used, the length of the wood screws shall be not less than 76 mm (3").

9.8.7. Handrails

9.8.7.1. Required Handrails

(1) Except as provided in Sentences (2) to (4), a handrail shall be installed on stairs and ramps in conformance with Table 9.8.7.1.

Table 9.8.7.1.
Handrails for Stairs and Ramps
Forming Part of Sentence 9.8.7.1.(1)

Location of Stair or Ramp	Handrails Serving Stairs			Handrails Serving Ramps	
	Stairs < 1 100 mm Wide		Stairs ≥ 1 100 mm Wide	Ramps < 1 100 mm Wide	Ramps ≥ 1 100 mm Wide
	Straight	Curved	All	Straight or Curved	All
	Number of Sides Required to have a Handrail				
Within a <i>dwelling unit</i>	1	1	1	1	2
All other locations	1	2	2	2	2
Column 1	2	3	4	5	6

(2) Where a stair or a ramp is required to be at least 2 200 mm wide due to the *occupant load*, a handrail shall be installed such that no position on the stair or ramp is more than 825 mm from a handrail.

r₆ (3) A handrail is not required for stairs and ramps serving a *house* or an individual *dwelling unit*, where,

- interior stairs have not more than two risers,
- exterior stairs have not more than three risers, or
- ramps rise not more than 400 mm.

r₆ (4) Only one handrail is required on exterior stairs having more than three risers, provided such stairs serve a *house* or an individual *dwelling unit*.

9.8.7.2. Continuity of Handrails (See Appendix A.)

(1) Except as provided in Sentence (2), at least one required handrail shall be continuous throughout the length of the stair or ramp, including landings, except where interrupted by,

- doorways, or
- newel posts at changes in direction.

r₆ (2) For stairs or ramps serving a *house* or an individual *dwelling unit*, at least one required handrail shall be continuous throughout the length of the stair or ramp, except where interrupted by,

- doorways,
- landings, or
- newel posts at changes in direction.

9.8.7.3. Termination of Handrails

(1) Handrails shall be terminated in a manner that will not obstruct pedestrian travel or create a hazard. (See Appendix A.)

r₆ (2) Except for stairs and ramps serving a *house* or an individual *dwelling unit*, at least one handrail at the sides of a stair or ramp shall extend horizontally not less than 300 mm beyond the top and bottom of each stair or ramp. (See Appendix A.)

9.8.7.4. Height of Handrails (See Appendix A.)

- (1) The height of handrails on stairs and ramps shall be measured vertically from the top of the handrail to,
 - (a) a straight line drawn tangent to the tread nosings of the stair served by the handrail, or
 - (b) the surface of the ramp, floor or landing served by the handrail.
- (2) Except as provided in Sentences (3) and (4), the height of handrails on stairs and ramps shall be,
 - (a) not less than 865 mm, and
 - (b) not more than 965 mm.
- (3) Where *guards* are required, handrails required on landings shall be not more than 1 070 mm in height.
- (4) Handrails installed in addition to required handrails need not comply with Sentence (2).

9.8.7.5. Ergonomic Design

- (1) A clearance of not less than 50 mm shall be provided between a handrail and any surface behind it.
- (2) All handrails shall be constructed so as to be continually graspable along their entire length with no obstruction on or above them to break a handhold, except where the handrail is interrupted by newels at changes in direction. (See Appendix A.)

9.8.7.6. Projections into Stairs and Ramps

- (1) Handrails and projections below handrails, including handrail supports and stair stringers, shall not project more than 100 mm into the required width of a stair or ramp.

9.8.7.7. Design and Attachment of Handrails (See Appendix A.)

- (1) Handrails and any *building* element that could be used as a handrail shall be designed and attached in such a manner as to resist,
 - (a) a concentrated load at any point of not less than 0.9 kN, and
 - (b) for handrails other than those serving a *house* or an individual *dwelling unit*, a uniformly distributed load of 0.7 kN/m.
- (2) Where a handrail serving a *house* or an individual *dwelling unit* is attached to wood studs or blocking, the attachment shall be deemed to comply with Sentence (1), where,
 - (a) the attachment points are spaced not more than 1.2 m apart,
 - (b) the first attachment point at either end is located not more than 300 mm from the end of the handrail, and
 - (c) the fasteners consist of no fewer than two wood screws at each point, penetrating not less than 32 mm into solid wood.

9.8.8. Guards
9.8.8.1. Required Guards (See Appendix A.)

- (1) Except as provided in Sentences (2) and (3), every surface to which access is provided for other than maintenance purposes, including but not limited to flights of steps and ramps, exterior landings, porches, balconies, *mezzanines*, galleries and raised walkways, shall be protected by a *guard* on each side that is not protected by a wall for the length, where,
 - (a) there is a difference in elevation of more than 600 mm between the walking surface and the adjacent surface, or
 - (b) the adjacent surface within 1.2 m from the walking surface has a slope of more than 1 in 2.

- (2) *Guards* are not required,
- at loading docks,
 - at floor pits in *repair garages*, or
 - where access is provided for maintenance purposes only.

(3) When an interior stair has more than two risers or an interior ramp rises more than 400 mm, the sides of the stair or ramp and the landing or floor level around the stairwell or ramp shall be protected by a *guard* on each side that is not protected by a wall.

(4) Doors in *buildings of residential occupancy*, where the finished floor on one side of the door is more than 600 mm above the floor or other surface or ground level on the other side of the door, shall be protected by,

- a *guard* in accordance with this Subsection, or
- a mechanism capable of controlling the free swinging or sliding of the door so as to limit any clear unobstructed opening to not more than 100 mm.

(5) Except as provided in Sentence (6), openable windows in *buildings of residential occupancy* shall be protected by,

- a *guard* in accordance with this Subsection, or
- a mechanism capable of controlling the free swinging or sliding of the openable part of the window so as to limit any clear unobstructed opening to a size that will prevent the passage of a sphere having a diameter more than 100 mm.

(See Appendix A.)

(6) Windows need not be protected in accordance with Sentence (5), where,

- the window serves a *dwelling unit* that is not located above another *suite*,
- the only opening having greater dimensions than those allowed by Clause (5)(b) is a horizontal opening at the top of the window,
- the top surface of the window sill is located more than 480 mm above the finished floor on one side of the window, or
- the window is located in a room or space with the finished floor described in Clause (c) located less than 1 800 mm above the floor or ground on the other side of the window.

(7) Except as provided in Sentence (8), glazing installed over stairs, ramps and landings that extends to less than 1 070 mm above the surface of the treads, ramp or landing shall be,

- protected by *guards* in accordance with this Subsection, or
- non-openable and designed to withstand the specified lateral loads for *guards* as provided in Article 4.1.5.14.

(8) In *dwelling units*, glazing installed over stairs, ramps and landings that extends to less than 900 mm above the surface of the treads, ramp or landing shall be,

- protected by *guards* in accordance with this Subsection, or
- non-openable and designed to withstand the specified lateral loads for *guards* as provided in Article 4.1.5.14.

(9) Glazing installed in public areas that extends to less than 1 000 mm from the floor and is located above the second *storey* in *buildings of residential occupancy* shall be,

- protected by *guards* in accordance with this Subsection, or
- non-openable and designed to withstand the specified lateral loads for *guards* as provided in Article 4.1.5.14.

9.8.8.2. Loads on Guards (See Appendix A.)

- Except as provided in Sentence (5), *guards* shall be designed to resist the specified loads prescribed in Table 9.8.8.2.

Table 9.8.8.2.
Specified Loads for Guards
 Forming Part of Sentence 9.8.8.2.(1)

Location of <i>Guard</i>	Minimum Specified Loads		
	Horizontal Load Applied Inward or Outward at any Point at the Minimum Required Height of the <i>Guard</i>	Horizontal Load Applied Inward or Outward on Elements Within the <i>Guard</i> , Including Solid Panels and Pickets	Evenly Distributed Vertical Load Applied at the Top of the <i>Guard</i>
<i>Guards within dwelling units and exterior guards serving not more than 2 dwelling units</i>	0.5 kN/m or concentrated load of 1.0 kN applied at any point ⁽¹⁾	0.5 kN applied over a maximum width of 300 mm and a height of 300 mm ⁽²⁾	1.5 kN/m
<i>Guards serving access walkways to equipment platforms, contiguous stairs and similar areas</i>	Concentrated load of 1.0 kN applied at any point	Concentrated load of 0.5 kN applied at any point on individual elements	1.5 kN/m
All other <i>guards</i>	0.75 kN/m or concentrated load of 1.0 kN applied at any point ⁽¹⁾	Concentrated load of 0.5 kN applied at any point on individual elements	1.5 kN/m
Column 1	2	3	4

Notes to Table 9.8.8.2.:

- (1) The load that creates the most critical condition shall apply.
 (2) See Sentence (2).

(2) Where the width and spacing of balusters in *guards* within *dwelling units* and in exterior *guards* serving not more than two *dwelling units* is such that three balusters can be engaged by a load imposed over a 300 mm width, the load shall be imposed so as to engage three balusters.

(3) None of the specified loads prescribed in Table 9.8.8.2. need be considered to act simultaneously.

(4) For *guards* within *dwelling units* and for exterior *guards* serving not more than 2 *dwelling units*, Table 9.8.8.2. need not apply where the *guard* construction has been demonstrated to provide effective performance.

(5) *Guards* constructed in accordance with the requirements in MMAH Supplementary Standard SB-7, “Guards for Housing and Small Buildings” shall be deemed to satisfy the requirements of Sentence (1).

9.8.8.3. Height of Guards (See Appendix A.)

- (1) Except as provided in Sentences (2) to (6), all *guards* shall be not less than 1 070 mm high.
- (2) All *guards* within *dwelling units* shall be not less than 900 mm high.
- r₆ (3) Exterior *guards* serving a *house* or an individual *dwelling unit* shall be not less than 900 mm high where the walking surface served by the *guard* is not more than 1 800 mm above the finished ground level.
- (4) *Guards* for flights of steps, except in required *exit* stairs, shall be not less than 900 mm high.
- (5) Except as provided in Sentence (6), the height of *guards* shall be not less than,
- (a) 920 mm for required *exit* stairs, and
- (b) 1 070 mm around landings.
- (6) The height of *guards* for exterior stairs and landings more than 10 m above adjacent ground level shall be not less than 1 500 mm.

- (7) The height of *guards* for stairs and landings shall be measured vertically from the top of the *guard* to,
- (a) a straight line drawn tangent to the tread nosings of the stair, or
 - (b) the surface of the landing.

9.8.8.4. Guards for Floors and Ramps in Garages

- (1) Except for floors of garages referred to in Section 9.35., where garage floors or ramps are 600 mm or more above the adjacent ground or floor level, every opening through a garage floor and the perimeter of floors and ramps that have no exterior walls shall be provided with,
- (a) a continuous curb not less than 150 mm in height, and
 - (b) a *guard* not less than 1 070 mm above the floor level.
- (2) Vehicle guardrails shall be designed for a concentrated horizontal load of 22 kN applied outward at any point 500 mm above the floor surface.

9.8.8.5. Openings in Guards

- (1) Except as provided in Sentence (2), openings through any *guard* that is required by Article 9.8.8.1. shall be of a size that will prevent the passage of a spherical object having a diameter of 100 mm unless it can be shown that the location and size of openings that exceed this limit do not represent a hazard. (See Appendix A.)
- (2) Openings through any *guard* that is required by Article 9.8.8.1. and that is installed in a *building of industrial occupancy* shall be of a size that will prevent the passage of a spherical object having a diameter of 200 mm, unless it can be shown that the location and size of openings that exceed this limit do not represent a hazard. (See Appendix A.)
- (3) Unless it can be shown that the location and size of openings that do not comply with the following limits do not represent a hazard, openings through any *guard* that is not required by Article 9.8.8.1. and that serves a *building of other than industrial occupancy*, shall be of a size that,
- (a) will prevent the passage of a spherical object having a diameter of 100 mm, or
 - (b) will permit the passage of a spherical object having a diameter of 200 mm.
- (See Appendix A.)

9.8.8.6. Guards Designed Not to Facilitate Climbing

- (1) *Guards* required by Article 9.8.8.1., except those in *industrial occupancies* and where it can be shown that the location and size of openings do not represent a hazard, shall be designed so that no member, attachment or opening located between 140 mm and 900 mm above the floor or walking surface protected by the *guard* will facilitate climbing. (See Appendix A.)

9.8.8.7. Glass in Guards

- (1) Glass in *guards* shall be,
- (a) safety glass of the laminated or tempered type conforming to CAN/CGSB-12.1-M, “Tempered or Laminated Safety Glass”, or
 - (b) wired glass conforming to CAN/CGSB-12.11-M, “Wired Safety Glass”.

(2) Where a *foundation* is insulated in a manner that will reduce the heat flow to the *soil* beneath the footings, the *foundation* depth shall conform to that required for *foundations* containing no heated space. (See Appendix A.)

(3) The minimum depth of *foundations* for exterior concrete steps with more than 2 risers shall conform to Sentences (1), (2) and (5).

(4) Concrete steps with 1 and 2 risers are permitted to be laid on ground level.

(5) The *foundation* depths required in Sentence (1) are permitted to be decreased where experience with local *soil* conditions shows that lesser depths are satisfactory, or where the *foundation* is designed for lesser depths.

(6) The *foundation* depths required in Sentence (1) do not apply to *foundations* for,

(a) *buildings*,

(i) that are not of masonry or masonry veneer construction, and

(ii) whose superstructure conforms with the requirements of the deformation resistance test in CSA Z240.2.1, "Structural Requirements for Manufactured Homes", or

(b) accessory *buildings*,

(i) that are not of masonry or masonry veneer construction,

(ii) not more than 1 *storey* in *building height*,

(iii) not more than 55 m² in *building area*, and

(iv) where the distance from the finished ground to the underside of the floor joists is not more than 600 mm.

(7) The *foundation* depths required in Sentence (1) do not apply to *foundations* for decks and other accessible exterior platforms,

(a) that are of not more than 1 *storey*,

(b) that are not more than 55 m² in area,

(c) where the distance from the finished ground to the underside of the floor joists is not more than 600 mm,

(d) that are not supporting a roof, and

(e) that are not attached to another structure, unless it can be demonstrated that differential movement will not adversely affect the performance of that structure.

9.12.3. Backfill

9.12.3.1. Placement of Backfill

(1) Backfill shall be placed to avoid damaging the *foundation* wall, the drainage tile, drainage layer, externally applied thermal insulation, waterproofing and dampproofing of the wall.

9.12.3.2. Grading of Backfill

(1) Backfill shall be graded to prevent drainage towards the *foundation* after settling.

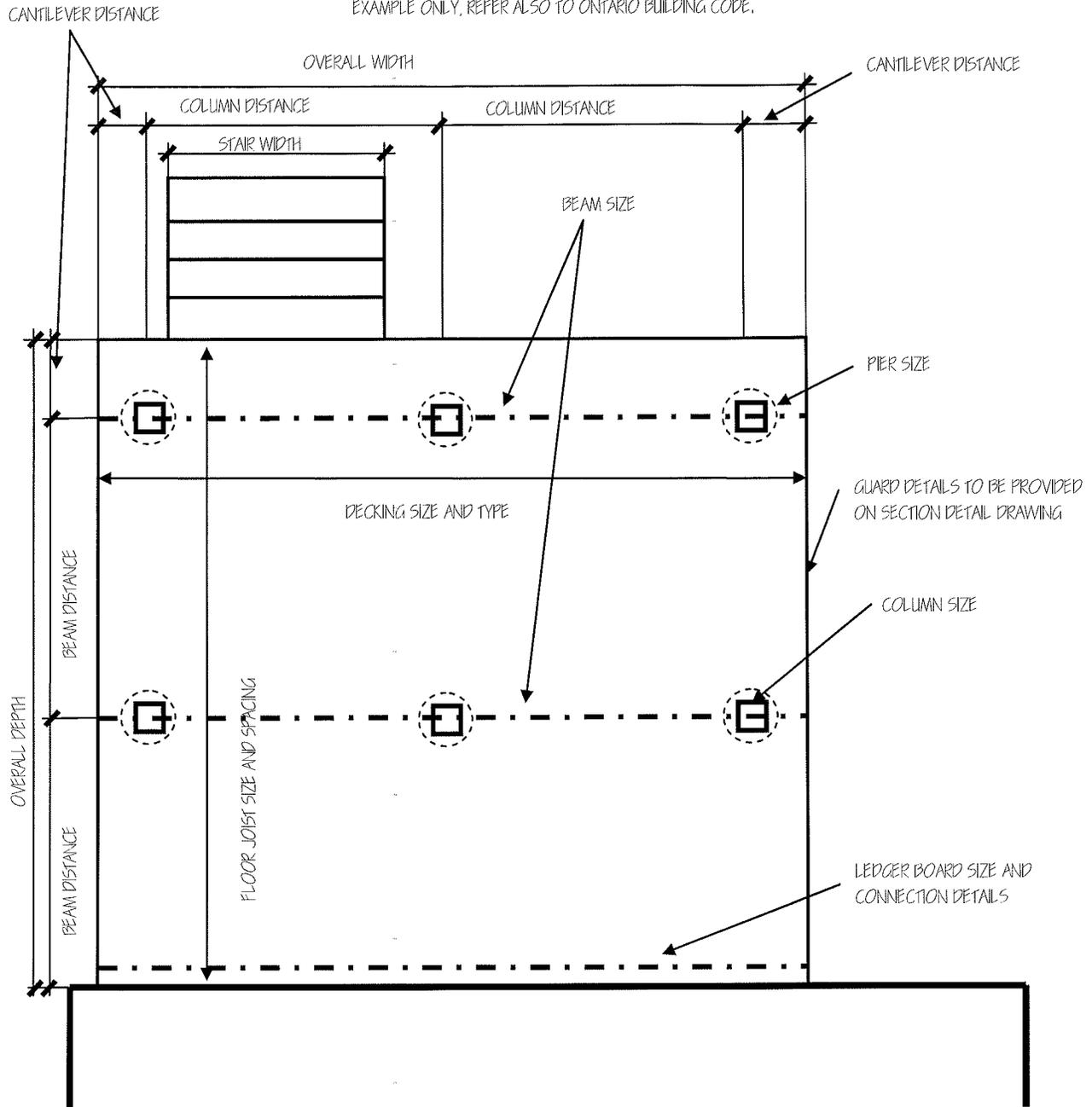
9.12.3.3. Deleterious Debris and Boulders

(1) Backfill within 600 mm of the *foundation* shall be free of deleterious debris and boulders larger than 250 mm diam. (See Appendix A.)

(2) Except as permitted in Sentence (3), backfill shall not contain pyritic material or material that is susceptible to ice lensing in concentrations that will damage the *building* to a degree that would adversely affect its stability or the performance of assemblies separating dissimilar environments. (See A-9.4.4.4.(1) in Appendix A.)

SAMPLE FLOOR PLAN

EXAMPLE ONLY, REFER ALSO TO ONTARIO BUILDING CODE.



- LEDGER BOARD TO BE ATTACHED TO HOUSE WITH MIN 12MM (1/2") CONNECTORS AT MAX 810MM (32") CENTERS.
- PROVIDE OF MATERIAL USED FOR STRUCTURE _____
- PROVIDE TYPE OF MATERIAL USED FOR DECKING _____
- PROVIDE TYPE OF MATERIAL USED FOR GUARD(S) _____

SAMPLE SECTION

LEDGER BOARD BOLTED TO FOUNDATION
OR RIM JOIST
DO NOT FASTEN OVER VINYL SIDING OR
ATTACH TO BRICK.

GUARD REQUIRED IF DECK
IS 600mm (24") OR
MORE ABOVE GRADE

RAILING PICKETS TO COMPLY WITH SB7 OR
SUPPLY ENGINEERED DESIGN

900mm (36") HIGH IF
LESS THAN 1800mm
(5'11") ABOVE GRADE

1070mm (42") HIGH IF
MORE THAN 1800mm
(5' 11") ABOVE GRADE

CANTILEVER
MAX 400mm (16") FOR 2X8 JOISTS
MAX 600mm (24") FOR 2X10 JOISTS
MAX 1/6 OF JOIST SPAN

BEAM SIZE

BEAM SADDLE

POST SIZE MIN 150mm
x 150mm (6" x 6")

COLUMN SADDLE

MIN 150mm (6")
ABOVE GRADE

PIER SIZE

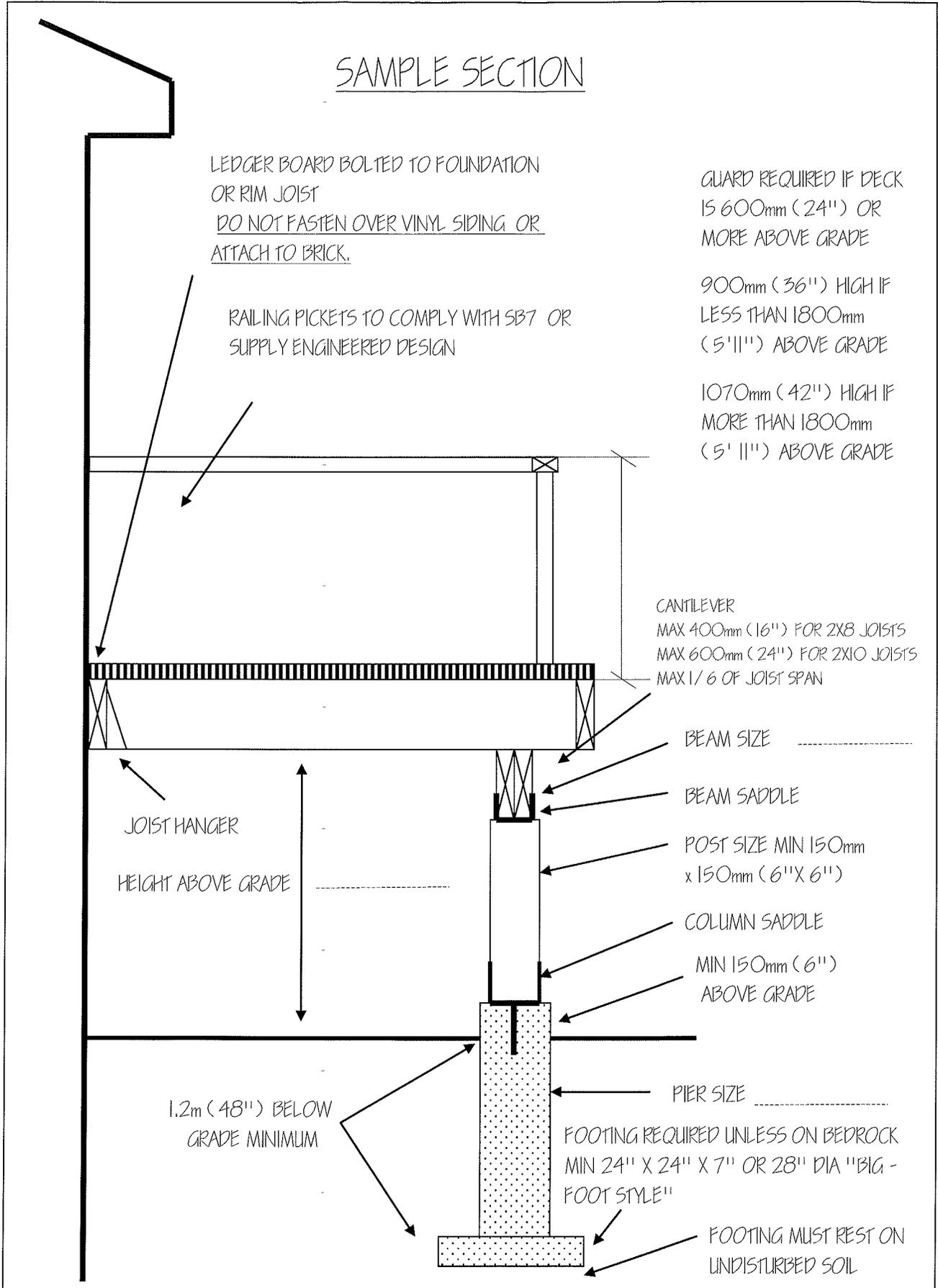
FOOTING REQUIRED UNLESS ON BEDROCK
MIN 24" X 24" X 7" OR 28" DIA "BIG -
FOOT STYLE"

FOOTING MUST REST ON
UNDISTURBED SOIL

JOIST HANGER

HEIGHT ABOVE GRADE

1.2m (48") BELOW
GRADE MINIMUM



Application for a Permit to Construct or Demolish

This form is authorized under subsection 8(1.1) of the Building Code Act.

For use by Principal Authority			
Application number:	Permit number (if different):		
Date received:	Roll number:		
Application submitted to: <u>The Township of Leeds and the Thousand Islands</u>			
A. Project information			
Building number, street name		Unit number	Lot/con.
Municipality	Postal code	Plan number/other description	
Project value est. \$		Area of work (m ²)	
B. Purpose of application			
<input type="checkbox"/> New construction <input type="checkbox"/> Addition to an existing building <input type="checkbox"/> Alteration/repair <input type="checkbox"/> Demolition <input type="checkbox"/> Conditional Permit			
Proposed use of building		Current use of building	
Description of proposed work			
C. Applicant Applicant is: <input type="checkbox"/> Owner or <input type="checkbox"/> Authorized agent of owner			
Last name	First name	Corporation or partnership	
Street address		Unit number	Lot/con.
Municipality	Postal code	Province	E-mail
Telephone number ()	Fax ()	Cell number ()	
D. Owner (if different from applicant)			
Last name	First name	Corporation or partnership	
Street address		Unit number	Lot/con.
Municipality	Postal code	Province	E-mail
Telephone number ()	Fax ()	Cell number ()	

E. Builder (optional)				
Last name		First name	Corporation or partnership (if applicable)	
Street address			Unit number	Lot/con.
Municipality		Postal code	Province	E-mail
Telephone number ()		Fax ()		Cell number ()
F. Tarion Warranty Corporation (Ontario New Home Warranty Program)				
i) Is proposed construction for a new home as defined in the <i>Ontario New Home Warranties Plan Act</i> ? If no, go to section G.			<input type="checkbox"/> Yes	<input type="checkbox"/> No
ii) Is registration required under the <i>Ontario New Home Warranties Plan Act</i> ?			<input type="checkbox"/> Yes	<input type="checkbox"/> No
iii) If yes to (ii) provide registration number(s): _____				
G. Required Schedules				
i) Attach Schedule 1 for each individual who reviews and takes responsibility for design activities.				
ii) Attach Schedule 2 where application is to construct on-site, install or repair a sewage system.				
H. Completeness and compliance with applicable law (See the attached guide for assistance)				
i) This application meets all the requirements of clauses 1.3.1.3 (5) (a) to (d) of Division C of the Building Code (the application is made in the correct form and by the owner or authorized agent, all applicable fields have been completed on the application and required schedules, and all required schedules are submitted).			<input type="checkbox"/> Yes	<input type="checkbox"/> No
Payment has been made of all fees that are required, under the applicable by-law, resolution or regulation made under clause 7(1)(c) of the <i>Building Code Act, 1992</i> , to be paid when the application is made.			<input type="checkbox"/> Yes	<input type="checkbox"/> No
ii) This application is accompanied by the plans and specifications prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> .			<input type="checkbox"/> Yes	<input type="checkbox"/> No
iii) This application is accompanied by the information and documents prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> which enable the chief building official to determine whether the proposed building, construction or demolition will contravene any applicable law.			<input type="checkbox"/> Yes	<input type="checkbox"/> No
iv) The proposed building, construction or demolition will not contravene any applicable law.			<input type="checkbox"/> Yes	<input type="checkbox"/> No
I. Declaration of applicant				
I _____ declare that: (print name)				
1. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge.				
2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.				
_____		_____		
Date		Signature of applicant		

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor. Toronto, M5G 2E5 (416) 585-6666.

Guide to completeness and compliance with applicable law

J. Heritage Designation (for alteration/repair/renovation/demolition projects only)	
Has this property been designated under The Ontario Heritage Act?	<input type="checkbox"/> Yes <input type="checkbox"/> No Initials: _____
Has this property been designated as a property of interest by the Municipal Heritage Committee?	<input type="checkbox"/> Yes <input type="checkbox"/> No Initials: _____

K. Minimum Distance Separation (for construction of new dwelling or livestock facility only)	
Is there an existing or proposed barn or livestock facility within 1000 m of an existing or proposed dwelling? If yes, please obtain a copy of Schedule 3 <i>Minimum Distance Separation Formulae</i> , which is available on our website or by contacting the Township office.	<input type="checkbox"/> Yes <input type="checkbox"/> No Initials: _____

L. Approvals from Other Agencies	
<p>Cataraqui Region Conservation Authority approval required if construction is within 15 metres of a flood plain, 50 metres of a water course, a Locally Significant Wetland, an Area of Natural and Scientific Interest, within 120 metres of a Provincially Significant Wetland or within 30 metres of all other wetlands greater than 0.5 ha.</p> <p>Leeds, Grenville and Lanark District Health Unit approval required if new construction, an addition, or an increase in the number of bedrooms or plumbing fixtures.</p> <p>St. Lawrence Parks Commission approval required if the construction is within 150 feet of, or fronts or backs onto, the 1000 Islands Parkway.</p> <p>Other Agency Indicate Agency _____</p>	<p><input type="checkbox"/> Yes <input type="checkbox"/> No Initials: _____ If 'Yes', date approval obtained from CRCA: _____</p> <p><input type="checkbox"/> Yes <input type="checkbox"/> No Initials: _____ If 'Yes', date approval obtained from Health Unit: _____</p> <p><input type="checkbox"/> Yes <input type="checkbox"/> No Initials: _____ If 'Yes', date approval obtained from SLPC: _____</p> <p><input type="checkbox"/> Yes <input type="checkbox"/> No Initials: _____ If 'Yes', date approval obtained _____</p>

M. Owner's Authorization	
<p>I, _____, am the owner of the land that is subject of this application for a building permit in the Township of Leeds and the Thousand Islands and I authorize _____ to make this application on my behalf.</p> <p>Date: _____ Signature of Owner: _____</p>	

IMPORTANT INFORMATION									
<p>The Municipality notifies the following agencies concerning the approval of your building permit application:</p> <table border="0"> <tr> <td>• Municipal Property Assessment Corporation</td> <td>• Electrical Safety Authority</td> </tr> <tr> <td>• Statistics Canada</td> <td>• Leeds, Grenville & Lanark District Health Unit</td> </tr> <tr> <td>• Tarion New Home Warranty</td> <td>• Canada Mortgage & Housing</td> </tr> <tr> <td>• Ministry of Labour</td> <td></td> </tr> </table>		• Municipal Property Assessment Corporation	• Electrical Safety Authority	• Statistics Canada	• Leeds, Grenville & Lanark District Health Unit	• Tarion New Home Warranty	• Canada Mortgage & Housing	• Ministry of Labour	
• Municipal Property Assessment Corporation	• Electrical Safety Authority								
• Statistics Canada	• Leeds, Grenville & Lanark District Health Unit								
• Tarion New Home Warranty	• Canada Mortgage & Housing								
• Ministry of Labour									

**** Failure to submit any of the required information may result in your application being returned. ****

Records of Site Condition O.Reg. 153/04

When a property is being proposed for a more sensitive land use than its current or most recent use then a Record of Site Condition (RSC) per the Environmental Protection Act (EPA) is required prior to land use change.

Please indicate ('x') if the lands in respect of which the building permit application is made have been used for any of the following uses:

X	Potentially Contaminating Activity	X	Potentially Contaminating Activity
	Acid and Alkali Manufacturing, Processing and Bulk Storage		Importation of Fill Material of Unknown Quality
	Adhesives and Resins Manufacturing, Processing and Bulk Storage		Ink Manufacturing, Processing and Bulk Storage
	Airstrips and Hangars Operation		Iron and Steel Manufacturing and Processing
	Antifreeze and De-icing Manufacturing and Bulk Storage		Metal Treatment, Coating, Plating and Finishing
	Asphalt and Bitumen Manufacturing		Metal Fabrication
	Battery Manufacturing, Recycling and Bulk Storage		Mining, Smelting and Refining; Ore Processing; Tailings Storage
	Boat Manufacturing		Oil Production
	Chemical Manufacturing, Processing and Bulk Storage		Operation of Dry Cleaning Equipment (where chemicals are used)
	Coal Gasification		Ordnance Use
	Commercial Autobody Shops		Paints Manufacturing, Processing and Bulk Storage
	Commercial Trucking and Container Terminals		Pesticides (including Herbicides, Fungicides and Anti-Fouling Agents) Manufacturing, Processing, Bulk Storage and Large-Scale Applications
	Concrete, Cement and Lime Manufacturing		Petroleum-derived Gas Refining, Manufacturing, Processing and Bulk Storage
	Cosmetics Manufacturing, Processing and Bulk Storage		Pharmaceutical Manufacturing and Processing
	Crude Oil Refining, Processing and Bulk Storage		Plastics (including Fibreglass) Manufacturing and Processing
	Discharge of Brine related to oil and gas production		Port Activities, including Operation and Maintenance of Wharves and Docks
	Drum and Barrel and Tank Reconditioning and Recycling		Pulp, Paper and Paperboard Manufacturing and Processing
	Dye Manufacturing, Processing and Bulk Storage		Rail Yards, Tracks and Spurs
	Electricity Generation, Transformation and Power Stations		Rubber Manufacturing and Processing
	Electronic and Computer Equipment Manufacturing		Salt Manufacturing, Processing and Bulk Storage
	Explosives and Ammunition Manufacturing, Production and Bulk Storage		Salvage Yard, including automobile wrecking
	Explosives and Firing Range		Soap and Detergent Manufacturing, Processing and Bulk Storage
	Fertilizer Manufacturing, Processing and Bulk Storage		Solvent Manufacturing, Processing and Bulk Storage
	Fire Retardant Manufacturing, Processing and Bulk Storage		Storage, maintenance, fuelling and repair of equipment, vehicles, and material used to maintain transportation systems
	Fire Training		Tannery
	Flocculants Manufacturing, Processing and Bulk Storage		Textile Manufacturing and Processing
	Foam and Expanded Foam Manufacturing and Processing		Transformer Manufacturing, Processing and Use
	Garages and Maintenance and Repair of Railcars, Marine Vehicles and Aviation Vehicles		Treatment of Sewage equal to or greater than 10,000 litres per day
	Gasoline and Associated Products Storage in Fixed Tanks		Vehicles and Associated Parts Manufacturing
	Glass Manufacturing		Waste Disposal and Waste Management, including thermal treatment, landfilling and transfer of waste, other than use of biosoils as soil conditioners
			Wood Treating and Preservative Facility and Bulk Storage of Treated and Preserved Wood Products

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information			
Building number, street name	Unit no.	Lot/con.	
Municipality	Postal code	Plan number/ other description	
B. Individual who reviews and takes responsibility for design activities			
Name	Firm		
Street address	Unit no.	Lot/con.	
Municipality	Postal code	Province	E-mail
Telephone number ()	Fax number ()	Cell number ()	
C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]			
<input type="checkbox"/> House	<input type="checkbox"/> HVAC – House	<input type="checkbox"/> Building Structural	
<input type="checkbox"/> Small Buildings	<input type="checkbox"/> Building Services	<input type="checkbox"/> Plumbing – House	
<input type="checkbox"/> Large Buildings	<input type="checkbox"/> Detection, Lighting and Power	<input type="checkbox"/> Plumbing – All Buildings	
<input type="checkbox"/> Complex Buildings	<input type="checkbox"/> Fire Protection	<input type="checkbox"/> On-site Sewage Systems	
Description of designer's work			
D. Declaration of Designer			
I _____ declare that (choose one as appropriate):			
(print name)			
<input type="checkbox"/> I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.			
Individual BCIN: _____			
Firm BCIN: _____			
<input type="checkbox"/> I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.			
Individual BCIN: _____			
Basis for exemption from registration: _____			
<input type="checkbox"/> The design work is exempt from the registration and qualification requirements of the Building Code.			
Basis for exemption from registration and qualification: _____			
I certify that:			
1. The information contained in this schedule is true to the best of my knowledge.			
2. I have submitted this application with the knowledge and consent of the firm.			
_____	_____		
Date	Signature of Designer		

NOTE:

1. For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) d). of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
2. Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

Plot Plan

****Required for all new construction and demolitions****

All structures and buildings in the Municipality must conform to the Township's Zoning By-Law as it is applicable law. In order to ensure that the proposed structure is in compliance with the Zoning By-Law, a complete plot plan with the following information is required for review:

Plot Plan Check List - Property Information	
<input type="checkbox"/> Dimensions of the property	<input type="checkbox"/> Dimensions and area of existing and proposed structures
<input type="checkbox"/> Location of existing or proposed septic system and well	<input type="checkbox"/> Height of the proposed structure
<input type="checkbox"/> Approximate location of all natural and artificial features	<input type="checkbox"/> Name of any road/private right-of-way within or abutting property
From the nearest point of the new construction:	
<input type="checkbox"/> Setbacks to centerline of adjacent roads	<input type="checkbox"/> Distance to the high water mark (if applicable)
<input type="checkbox"/> Distance to the edge of adjacent right-of-ways	<input type="checkbox"/> Distance to all property lines
	<input type="checkbox"/> Distance from accessory structure to main use

Check here if the Plot Plan is on a separate piece of paper and is attached to this application.

New Construction is to be a minimum of <input type="checkbox"/> 5 ft from septic tank <input type="checkbox"/> 17 ft from tile bed <input type="checkbox"/> 16 ft from hydro lines. Please Indicate the distances on the plot plan.	
Address of Property:	
Owner:	

Sample Plot Plan

